



**November 27, 2017**

Tracey Crawford  
Executive Director  
Northwest Special Recreation Association  
3000 Central Road, Suite 205  
Rolling Meadows, IL 60008

Re: Improvements proposed to be financed using special recreation levy

Dear Ms. Crawford:

The Palatine Park District hereby notifies and requests approval of the NWSRA Board of Directors for the proposed expenditure of funds from the District's special recreation levy, to pay the cost of the following improvement.

The Palatine Park District completed the contracted installation of an ADA path from the parking area at Community Park to the Fred Hall Amphitheater seating area and stage. Additionally four pads will be installed for accessible seating.

The total cost of the installation of the path is \$55,653. The Palatine Park District is requesting \$34,783.12. This cost is related to the 5' width of the path that is eligible for ADA funding. The project has been completed. Pictures of the path are included along with engineering plans and the contract for construction. Anticipated benefits of the project to NWSRA are as follows:

The path will allow accessibility of the theater seating and stage. This theater is the only outdoor theater in Palatine and was identified as necessary according to the accessibility audit performed in 2010.

The District respectfully requests that you review this request and present it with your approving recommendation to the NWSRA Board of Directors. If you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to be "Tracey Crawford", is written over a horizontal line.

**Executive Director  
Palatine Park District**

cc: Board of Park Commissioners

## **AGREEMENT BETWEEN OWNER AND CONTRACTOR**

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This Agreement between Owner and Contractor (the "Agreement") is made as of this 27<sup>th</sup> day of June, 2017,

**BETWEEN:**                The Palatine Park District ("Owner") with Administrative Offices located at  
  
   250 East Wood Street  
   Palatine, IL 60067

**AND:**                      Allstar Asphalt, Inc. ("Contractor"), with offices located at:  
  
   165 West Hintz Road, Wheeling, IL 60090

IN CONSIDERATION of the mutual promises between the Owner and Contractor (jointly referred to as "Parties") as stated herein and for other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

### **ARTICLE 1**

#### **THE CONTRACT DOCUMENTS**

The Contract Documents represent the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreement, either written or oral.

### **ARTICLE 2**

#### **THE WORK**

The Contractor shall perform all the ("Work") required by the Contract Documents for:

Asphalt Rehabilitation and ADA Path Installation  
Project Number: 17-14P

### **ARTICLE 3**

#### **TIME OF COMMENCEMENT AND SUBSTANTIAL COMPLETION**

The Work to be performed under this Contract shall be commenced July, 2017 and, subject to authorized adjustments, substantial Completion shall be achieved not later than October, 2017.

### **ARTICLE 4**

#### **CONTRACT SUM**

The Owner shall pay the Contractor in current funds for the performance of the Work, subject to additions and deductions by Change Order as provided in the Contract Documents, the Contract Sum of Contract Amount:.

4.2     The Contract Sum is determined as follows:

Item 1: Oak Park Basketball Court:	\$42,540.00
Item 2: Ashwood Basketball Court & Path	\$39,311.00
Item 3: Mallard Park ADA Pathway Installation	\$25,208.00

Item 4: Birchwood Basketball Court Renovation	\$49,738.00
Item 5: Birchwood Tennis Court & Fencing Renovation	\$81,832.80
Item 6: Community Park Path Improvements	<b>\$55,653.00</b>
Item 7: Dutch Schultz Park Accessibility Improvements:	\$22,308.80
Item 8: Hamilton Park Path Improvements	\$26,019.00
Item 9: Ost Field Bleacher Area Improvements	\$21,358.00
Item 10: Palatine Trail from Palatine Hills Drive to Hamilton Drive	\$35,981.00
<b>TOTAL BASE BID</b>	<b>\$399,849.60</b>
Alt. 1: Ost Field Bleacher Improvements	\$ 1,279.00
Alt. 2: Ost Field Bleacher Improvements	\$ 12,544.00
<b>TOTAL</b>	<b>\$413,672.60</b>

4.3 In the event that changes in the Work are authorized by the Owner, such changes shall be duly recorded on a written Change Order and signed by either the Executive Director or the Superintendent of Parks and Planning.

**ARTICLE 5**

**PROGRESS PAYMENTS**

Based upon Applications for Payment submitted to the Owner and Architect (if used) by the Contractor together with all submissions as required by the Contract Documents and if required by Owner, Certificates for Payment issued by the Owner or Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided in the Contract Documents for the period ending the last day of the month as follows:

Not later than thirty (30) days following the end of the period covered by the Application for Payment ninety percent (90%) of the approved portion of the Contract Sum properly allocable to labor, materials and equipment incorporated in the Work and zero percent (0%) of the portion of the Contract Sum properly allocable to materials and equipment suitably stored at the site or at some other location agreed upon in writing, for the period covered by the Application for Payment, less the aggregate of previous payments made by the Owner; and upon substantial Completion of the entire Work, a sum sufficient to increase the total payments to ninety (90%) of the Contract Sum, less such amounts as the Owner shall determine for all incomplete Work and unsettled claims as provided in the Contract Documents.

**ARTICLE 6**

**FINAL PAYMENT**

The Owner shall pay final payment, constituting the entire unpaid balance of the Contract Sum, to the Contractor when the Work has been completed, the Contract fully performed, and if required by Owner a final Certificate for Payment has been issued by the Architect (if used).

**ARTICLE 7**

**MISCELLANEOUS PROVISIONS**

7.1 Terms used in this Agreement, which are defined in the Conditions of the Contract, shall have the meanings designated in those Conditions.

7.2 The Contract Documents, which constitute the entire agreement between the Owner and the Contractor, are enumerated as follows:

# Palatine Park District Path Improvements at Community Park

262 E. Palatine Road  
Palatine, Illinois  
PROJECT NO. F0285.R0527



LOCATION MAP NOT TO SCALE



EXISTING	DESCRIPTION	PROPOSED
---	ROAD	---
---	EASEMENT	---
---	PROPERTY LINE	---
---	COMBINED SEWER	---
---	SANITARY SEWER	---
---	STORM SEWER	---
---	WATERMAIN	---
---	FLAGED END SECTION	---
---	CATCHBASIN	---
---	INLET	---
---	MANHOLE	---
---	VALVE VAULT	---
---	HYDRANT	---
---	WATER SERVICE BOX	---
---	GAS VALVE	---
---	LIGHT FIXTURE	---
---	POWER POLE	---
---	ELEVATION	---
---	GRADE CONTOUR	---
---	FLOW ARROW	---
---	HIGH POINT	---
---	TREE TO REMAIN	---
---	TREE TO BE REMOVED	---
---	BUSHES	---
---	SHRUB	---
---	MALIBOX	---

LEGEND INDICATES GENERAL THEME AND INTENT  
HALF-TONE OBJECTS AND SUBSCRIPT FOR REFERENCE

**FIELD VERIFY ALL UTILITIES**  
THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN WAS TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.



COUNTY: COOK  
SECTION: 14  
MUNICIPALITY: Village of Palatine

NO.	REVISION	DATE

DATE: 3/29/2017  
APPROVED BY: MLC  
DRAWN BY: MLC



Project Information  
Palatine Park District - Path Improvements  
Community Park, Palatine, IL

NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING SITE CONDITIONS & DEMOLITION
3	PAVING AND GRADING PLAN
4	PATH PROFILES
5	GENERAL NOTES AND DETAILS

**CONTROL**  
Horizontal Control: American Plane Coordinates, East Zone  
NAD 1983  
Vertical Control: U.S.C.S. N.A. U.T.M. 18S  
Datum: from TriState VRS Network, 2000 Adjustment

**OWNER CONTACT**  
Ed Tymczak  
Palatine Park District  
148 W. Illinois Avenue  
Palatine, IL 60067  
(847) 755-6130

**INSPECTIONS REQUIRED**  
THE CONTRACTOR SHALL SCHEDULE ANY INSPECTIONS REQUIRED THROUGHOUT CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

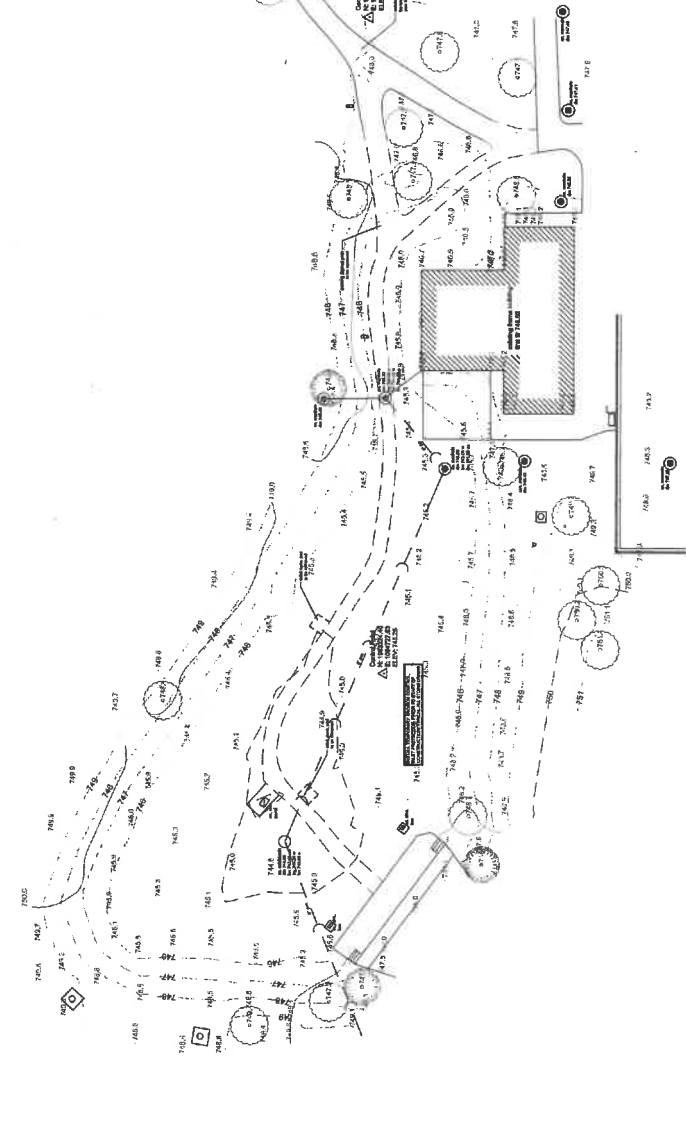
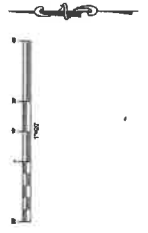
SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
BY LICENSE RENEWAL DATE IS NOVEMBER 30, 2017  
UNLESS OTHERWISE SPECIFIED BY THE SEAL

3/29/2017 ISSUED FOR PERMITS

**REFERENCED STANDARDS**  
THE FOLLOWING CODES AND SPECIFICATIONS ARE INCORPORATED INTO THIS PROJECT BY REFERENCE. CODES AND SPECIFICATIONS ARE REFERENCED BY THE MOST CURRENT EDITION UNLESS OTHERWISE NOTED. THE MOST CURRENT EDITION OR PUBLICATION DATE IS PROVIDED. THE MOST CURRENT EDITION SHALL APPLY. IN NO SPECIFIC EDITION BETWEEN CODES, PLANS AND SPECIFICATIONS, THE LATEST EDITION SHALL APPLY. IN NO SPECIFIC EDITION OR PUBLICATION DATE IS PROVIDED, THE MOST CURRENT EDITION SHALL APPLY.  
2016 ILLINOIS CONSTRUCTION CODES AND REGULATIONS  
2014 ILLINOIS STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION  
2014 ILLINOIS STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS  
2010 ILLINOIS ACCESSIBILITY CODE

**DUTY TO INDEMNIFY**  
THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL Rev. Stat. Ch. 48, Par. 80 et Seq.) AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL Rev. Stat. 17-1/2 Par. 51, 52, 53). IN THE EVENT OF A CLAIM, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

**FIELD VERIFY ALL UTILITIES**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THIS PLAN IS  
 TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION  
 OF UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR  
 PRIOR TO CONSTRUCTION. IT SHALL BE THE DUTY OF THE  
 CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL  
 UTILITIES ARE PRESENT OTHER THAN THOSE SHOWN ON THE PLAN MAY BE  
 PRESENT.



**PLAN - EXISTING CONDITIONS**



NO.	REVISION	DATE

DRAWN BY: MLC  
 APPROVED BY: MSO  
 DATE: 3/29/2017

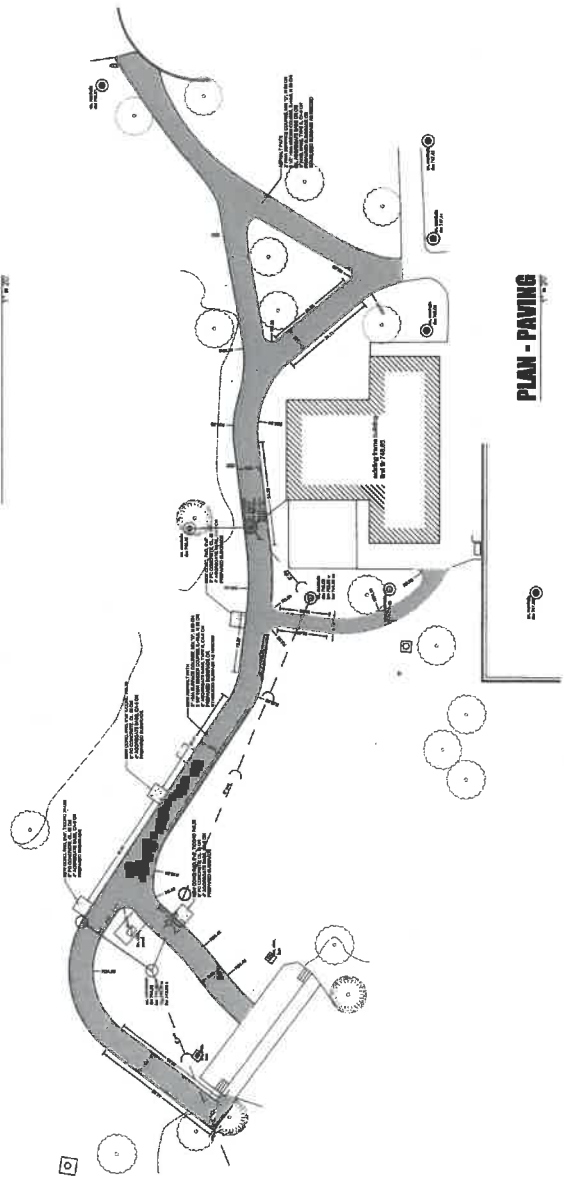
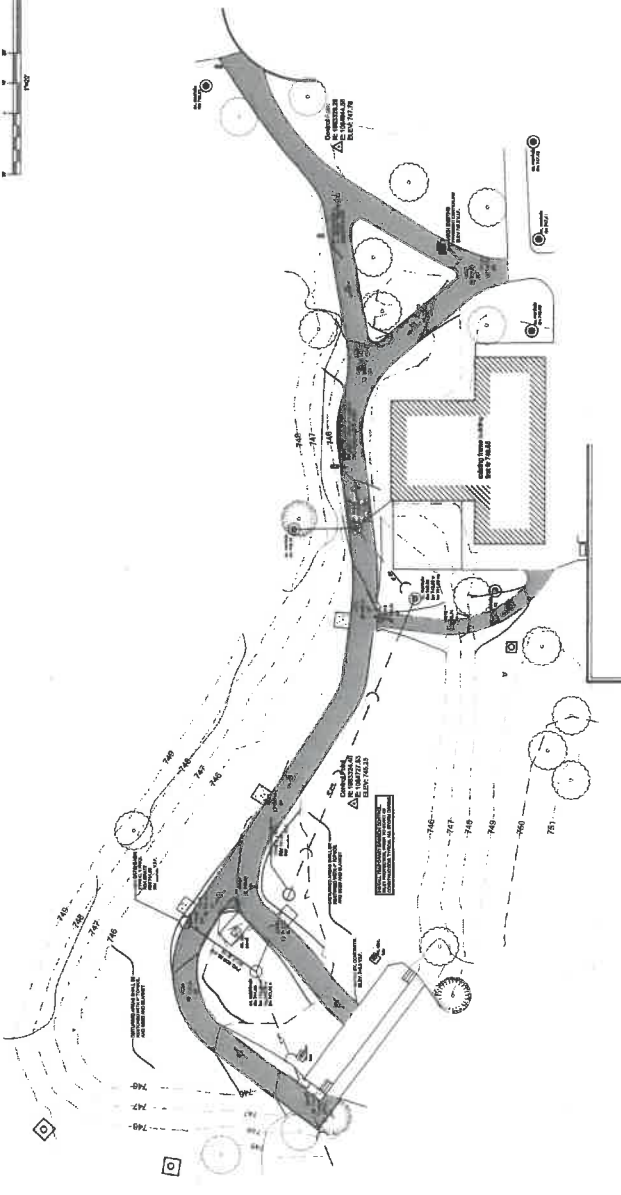
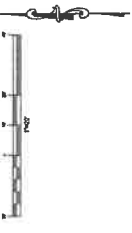
Amert DESIGN  
 Paving and Grading Plan  
 Palatine Park District - Path Improvements  
 Community Park, Palatine, IL

SHEET NO. 1 OF 3  
 FILE NAME: 170401  
 DATE: 3/29/2017

3/29/2017 ISSUED FOR PERMITS



**FIELD VERIFY ALL UTILITIES**  
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NO.	REVISION	DATE

DATE

DRAWN BY: MLC  
 APPROVED BY: MSO  
 DATE: 3/29/2017

Palatine Park District - Path Improvements  
 Community Park, Palatine, IL

3/29/2017 ISSUED FOR PERMITS

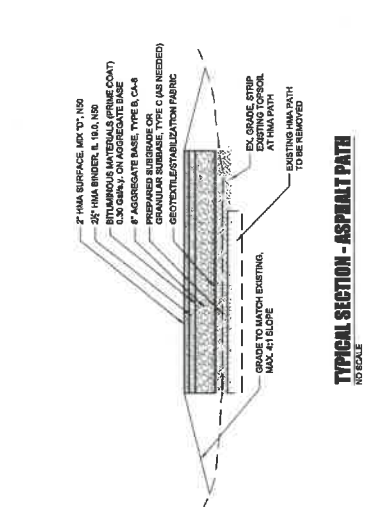
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SHEET NO. 4  
 OF 1  
 PROJECT NO. 17-001

OPERATES 24 HOURS A DAY 365 DAYS A YEAR  
 GATE TOLL FREE 1-800-800-8000  
 TOLL 847-398-8000



DATE: 3/29/2017  
 PROJECT NO: 17-001



**IEPA PUBLIC ACT 96-1416:**  
Uncontaminated soil means the soil does not contain contaminants in concentrations that pose a threat to human health and safety and the environment. Clean construction or demolition activities shall include measures to prevent soil erosion and sedimentation. When necessary, the contractor shall implement appropriate erosion control measures to prevent soil erosion and sedimentation. Uncontaminated soil shall be used for all construction activities. Contaminated soil shall not be used for any construction activities. Contaminated soil shall be removed from the site and disposed of in a permitted land disposal unit. Contaminated soil shall be removed from the site and disposed of in a permitted land disposal unit. Contaminated soil shall be removed from the site and disposed of in a permitted land disposal unit. Contaminated soil shall be removed from the site and disposed of in a permitted land disposal unit.

1. Certification from a licensed professional engineer that the soil is uncontaminated soil or certified uncontaminated soil.
  2. Certification from a licensed professional engineer that the soil is uncontaminated soil or certified uncontaminated soil.
  3. Certification from a licensed professional engineer that the soil is uncontaminated soil or certified uncontaminated soil.
  4. Visually inspect each load of soil (required of permitted CCOD II operations).
  5. Document all activities and maintain these documents for each load of soil for at least 2 years.
- Owners and operators of CCOD are responsible for the following:
1. Record location, address of source site, transportation/development contractor working on the site who provided the soil, and other information, and disseminate this information to the soil user of CCOD or uncontaminated soil accepted.
  2. Remove each load of soil with a device such as a probe locator detector, flame ionization detector, or another device approved by the Agency that detects volatile organic compounds (airborne required of permitted CCOD III operations).
- Documentation of the required activities must include, but not be limited to:
1. A copy of the approved plan and specifications for the project, including the location of the soil to be used.
  2. A copy of the approved plan and specifications for the project, including the location of the soil to be used.
  3. Certification by an authorized agent of the laboratory that the analysis has been performed in accordance with the Agency rules for the accreditation of environmental laboratories and the scope of accreditation.
- Form:**  
The contractor or subcontractor shall provide one of two forms to the site. They are:
1. Uncontaminated Soil Certification Form (UCSF)
  2. Certified Uncontaminated Soil Form (CUSF)

**SEEDIMENTATION AND EROSION CONTROL NOTES:**  
The contractor shall install and maintain all erosion control measures in accordance with the standards and specifications set forth in the most recent version of the Illinois Erosion Control Manual published by the Illinois Environmental Protection Agency for the prevention of erosion and sedimentation from construction sites. The following are minimum standards for the prevention of erosion and sedimentation during the course of the construction activities. The following are minimum standards for the prevention of erosion and sedimentation during the course of the construction activities.

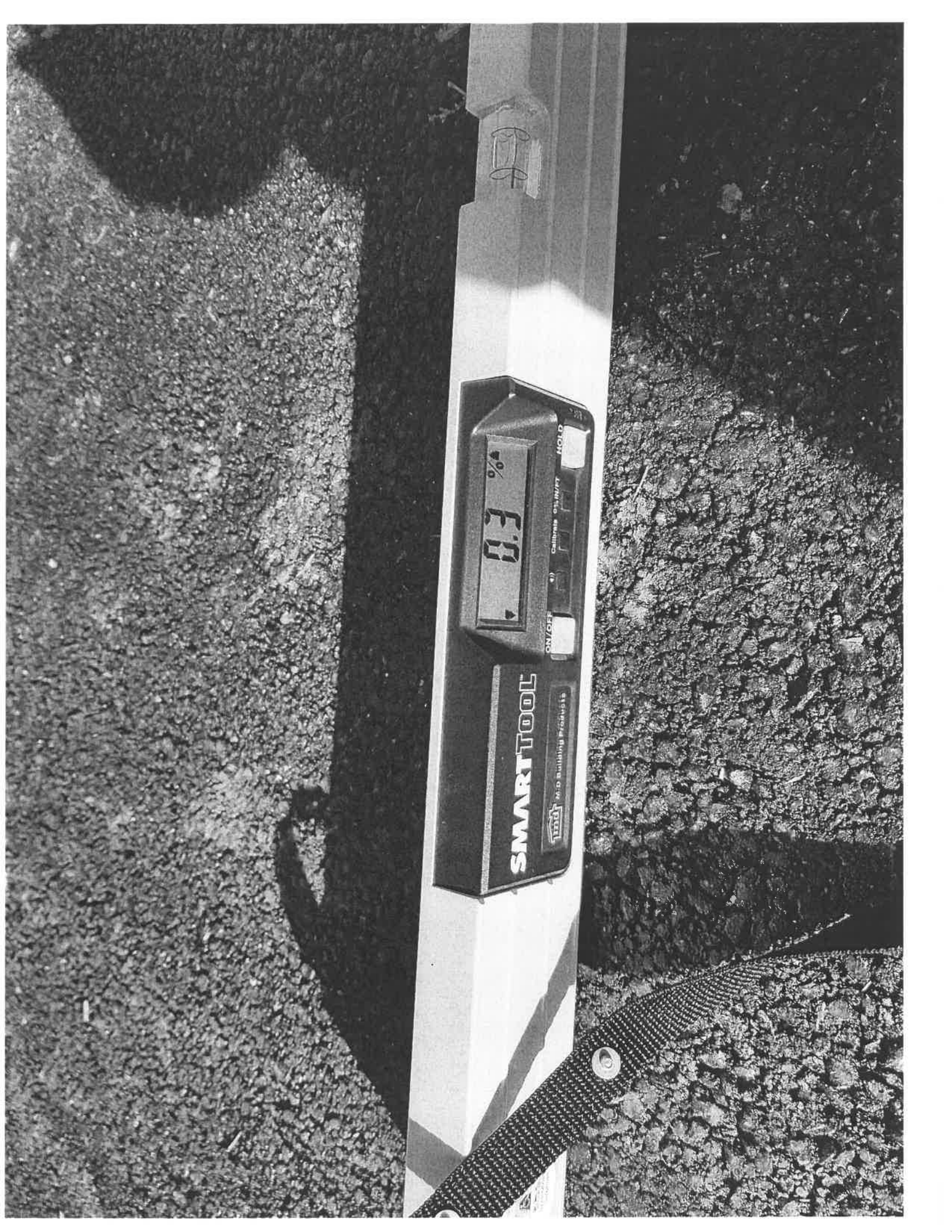
1. Soil erosion and sedimentation control measures shall be installed prior to the commencement of graded distribution.
2. Permanent and stabilization shall be done within 14 days after completion of final grading of the soil.
3. All temporary erosion and sediment control measures shall be removed within 30 days after all site grading is complete and all erosion control measures are no longer needed. Temporary sediment and erosion control measures shall be permanently stabilized.
4. Erosion control measures installed on the site are the minimum requirements. Additional measures may be required, as directed by the governing agencies.
5. All temporary measures, erosion control and grading measures must be established and maintained until the length of the project has been completed. Erosion control measures shall be removed as soon as possible after the completion of the project. Erosion control measures shall be removed as soon as possible after the completion of the project.
6. The contractor shall be responsible for the removal of all erosion control measures. The contractor shall be responsible for the removal of all erosion control measures.
7. All construction activities within the construction area and down slope within the public right-of-way shall be prohibited with sediment control measures.
8. The soil, storage and disposal of chemicals, cement and other compounds and building materials used on the construction site shall be managed during the construction period, to prevent their entrance into the sewer system.
9. The discharge of sediment into the sewer system, as part of site development, must be controlled and prohibited to prevent the clogging of the sewer system.
10. The soil, storage and disposal of chemicals, cement and other compounds and building materials used on the construction site shall be managed during the construction period, to prevent their entrance into the sewer system.

**GENERAL NOTES:**  
1. ALL EXCAVATION, GRADING, GRANULAR MATERIAL, COMPACTION AND RELATED WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.  
2. THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE REQUIREMENTS OF THE LOCAL JURISDICTION.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND TESTING OF ALL WORK ASSOCIATED WITH THIS PROJECT.  
4. THE CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 14 DAYS PRIOR TO BEGINNING ANY CONSTRUCTION.  
5. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND TO NOTIFY ALL UTILITY COMPANIES BEFORE STARTING CONSTRUCTION.  
6. ALL WORK SHALL BE DONE WITHIN THE 15 DAY PERIOD SPECIFIED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND TO NOTIFY ALL UTILITY COMPANIES BEFORE STARTING CONSTRUCTION.  
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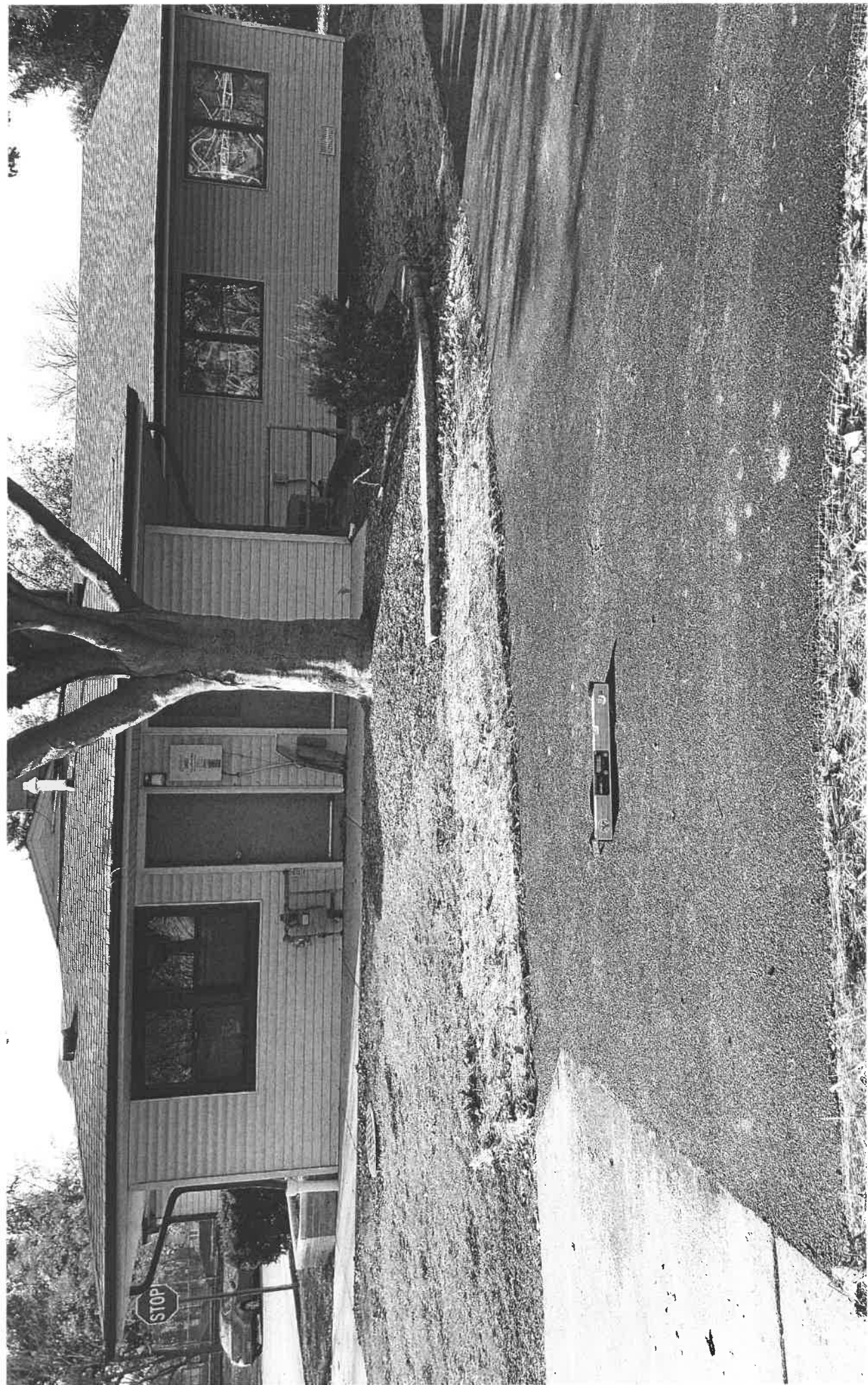
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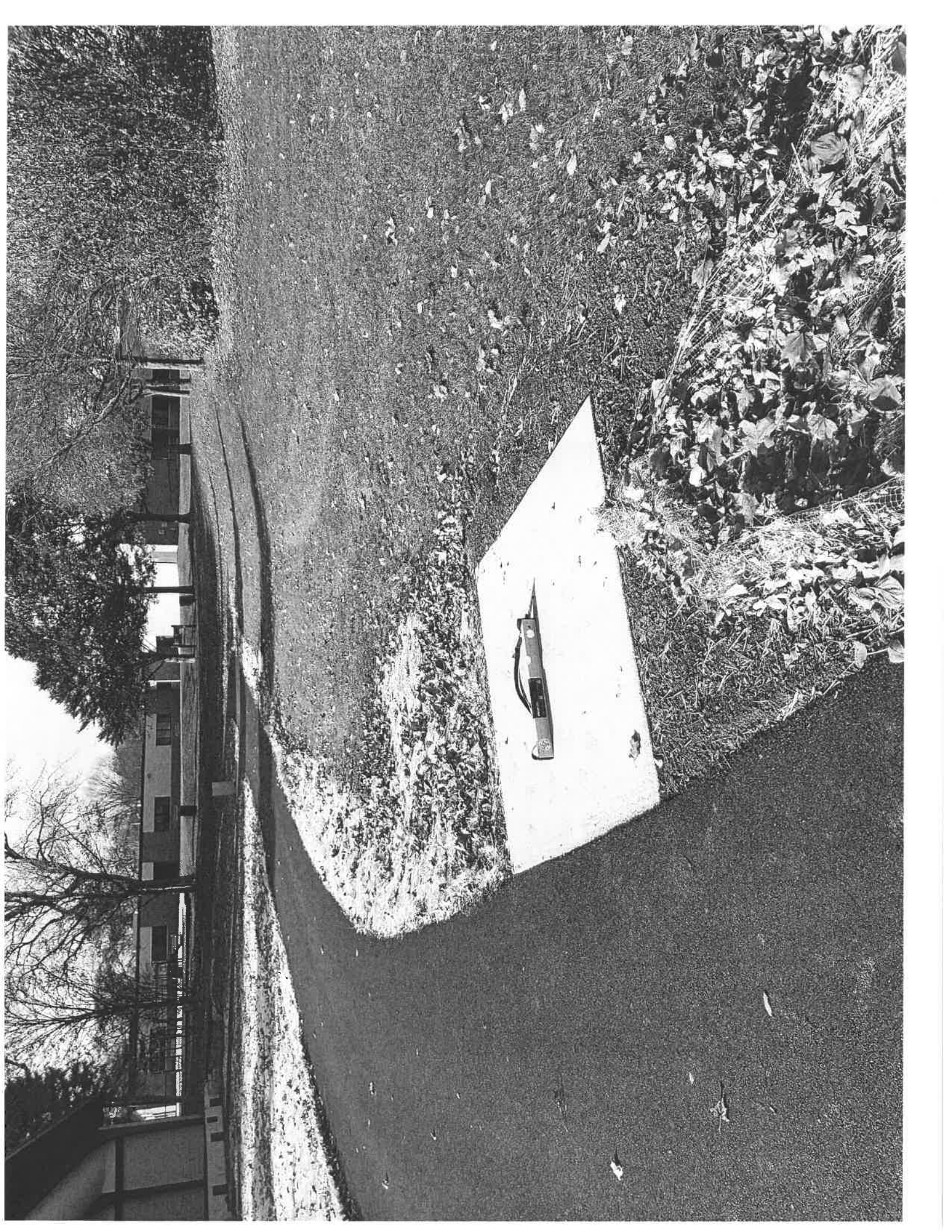
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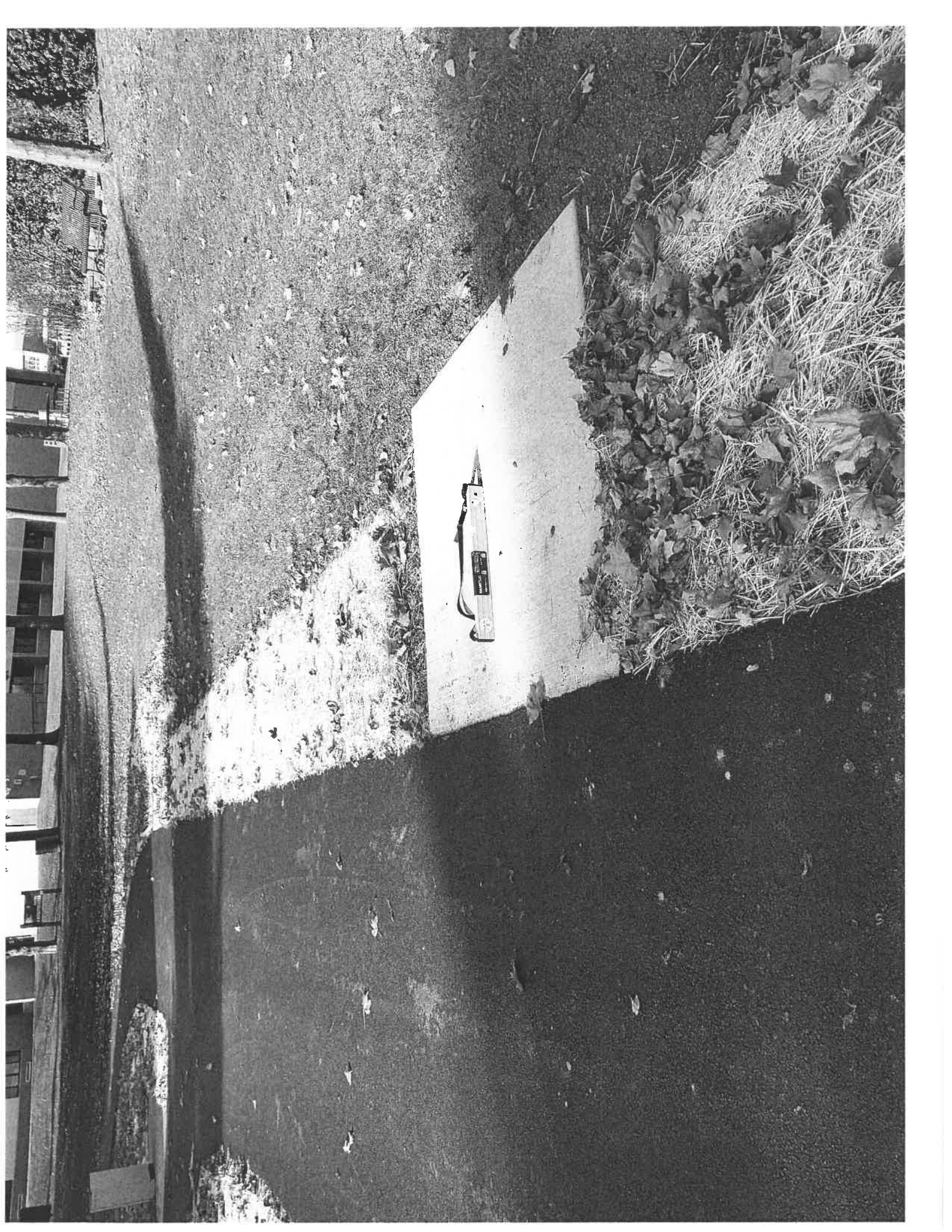
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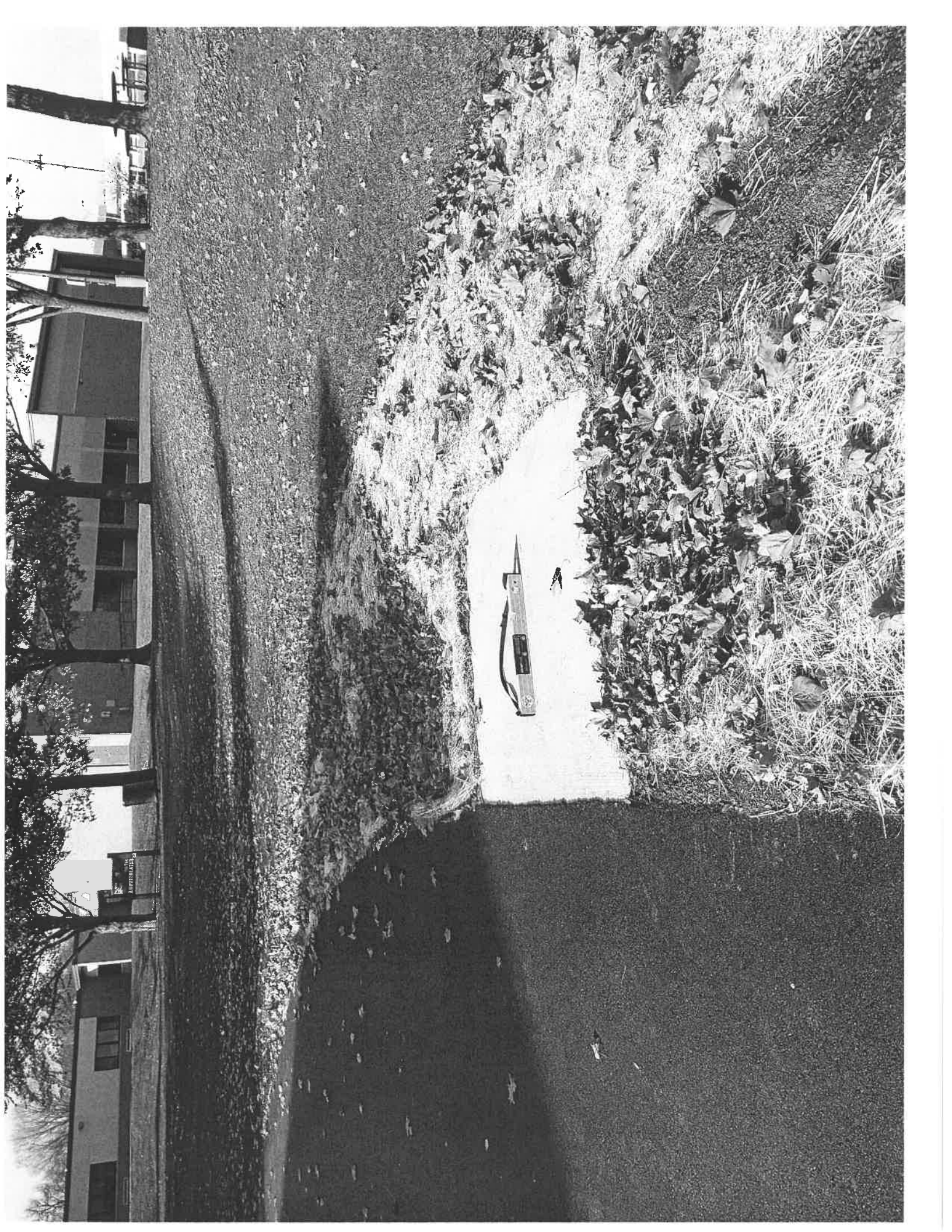






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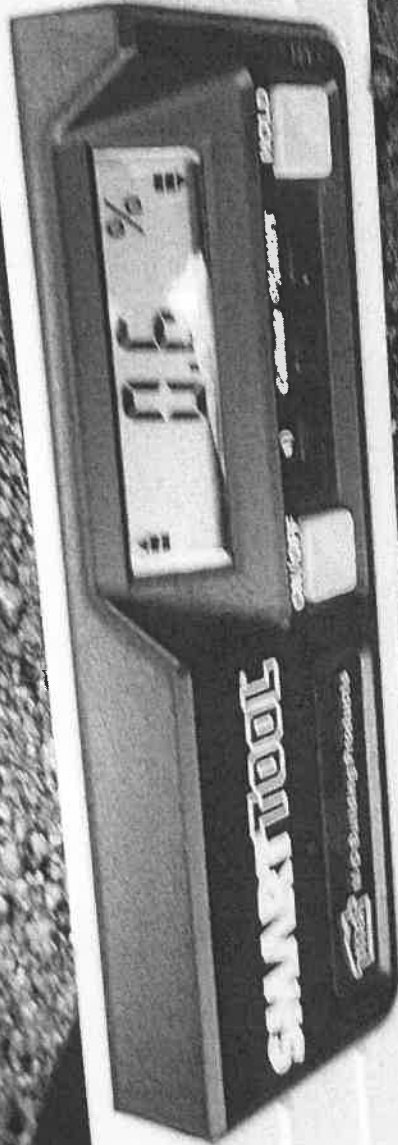


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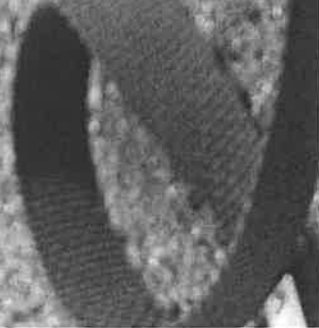












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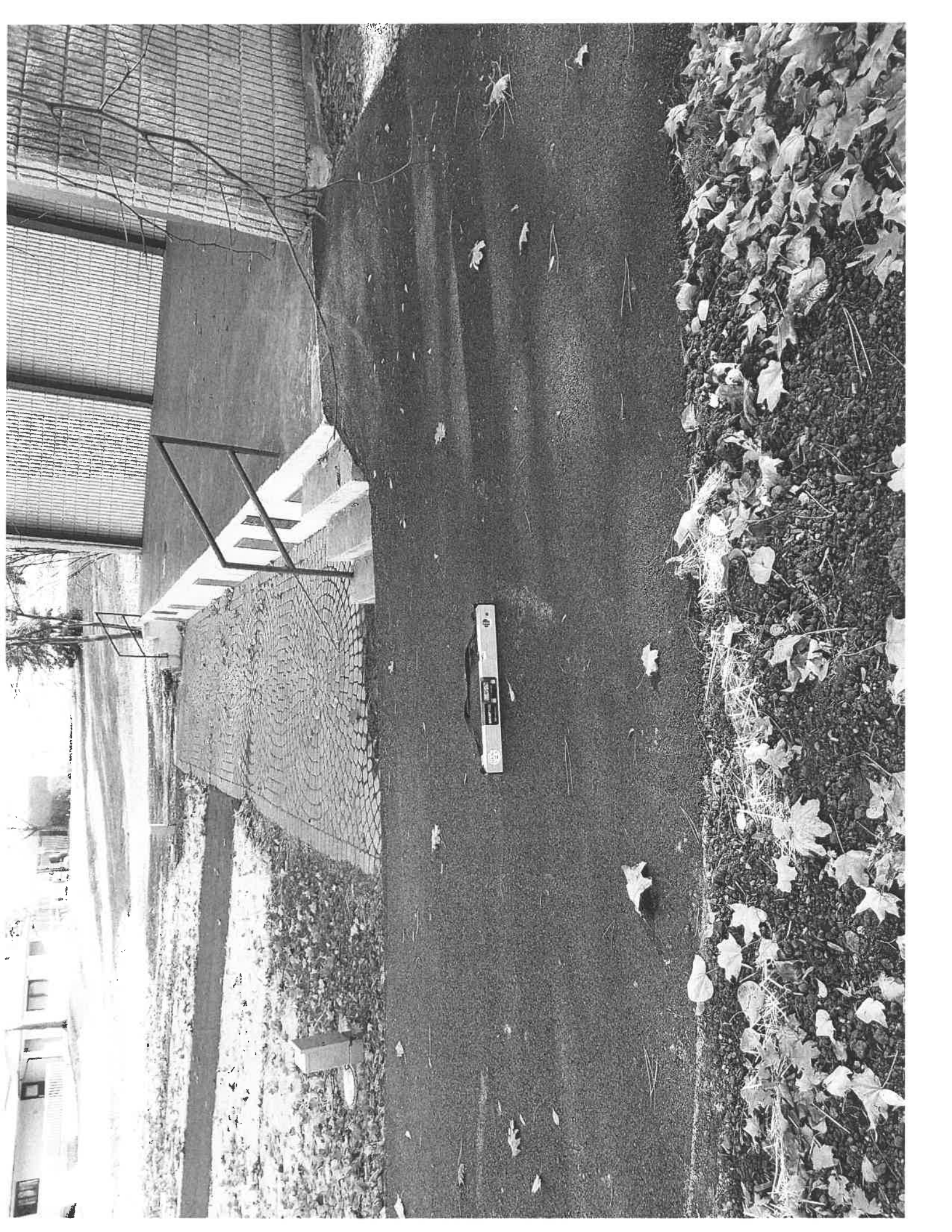
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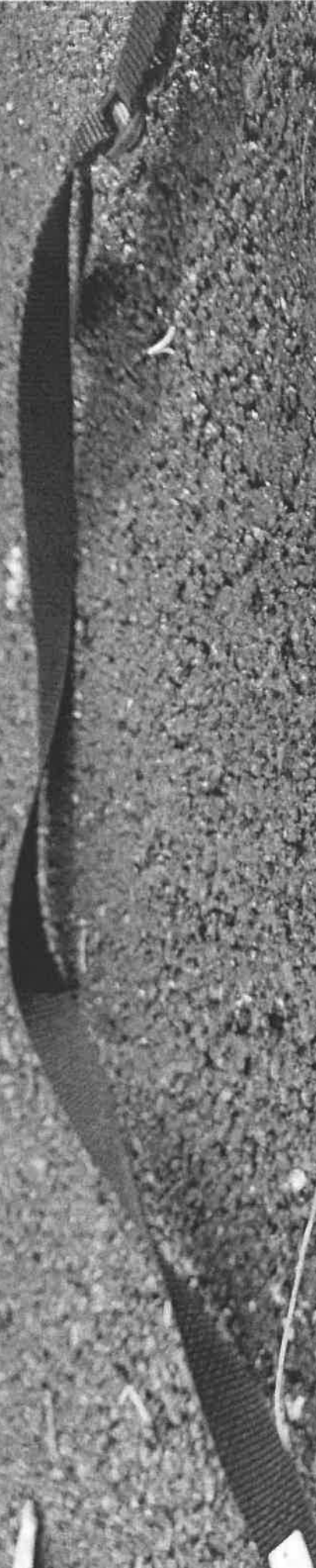
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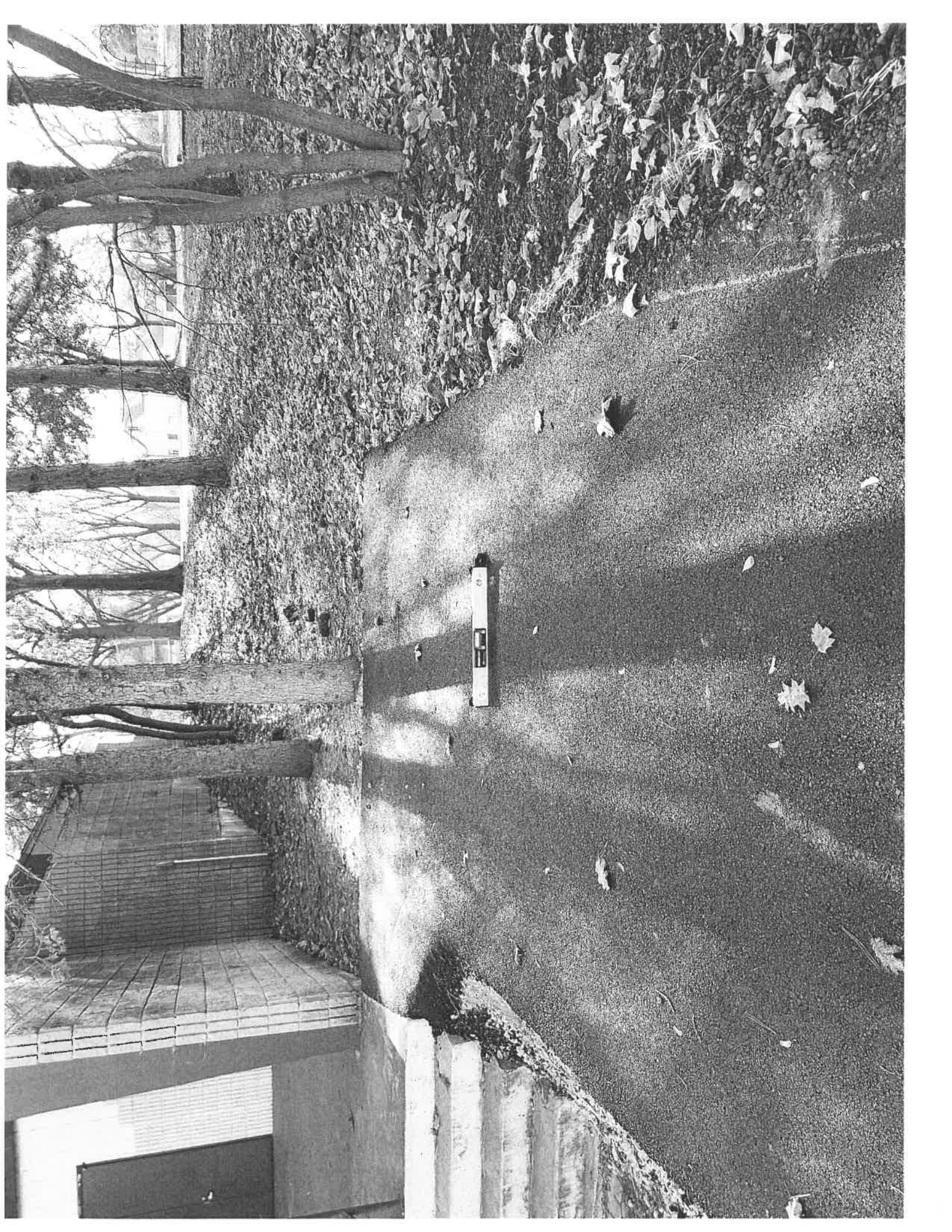
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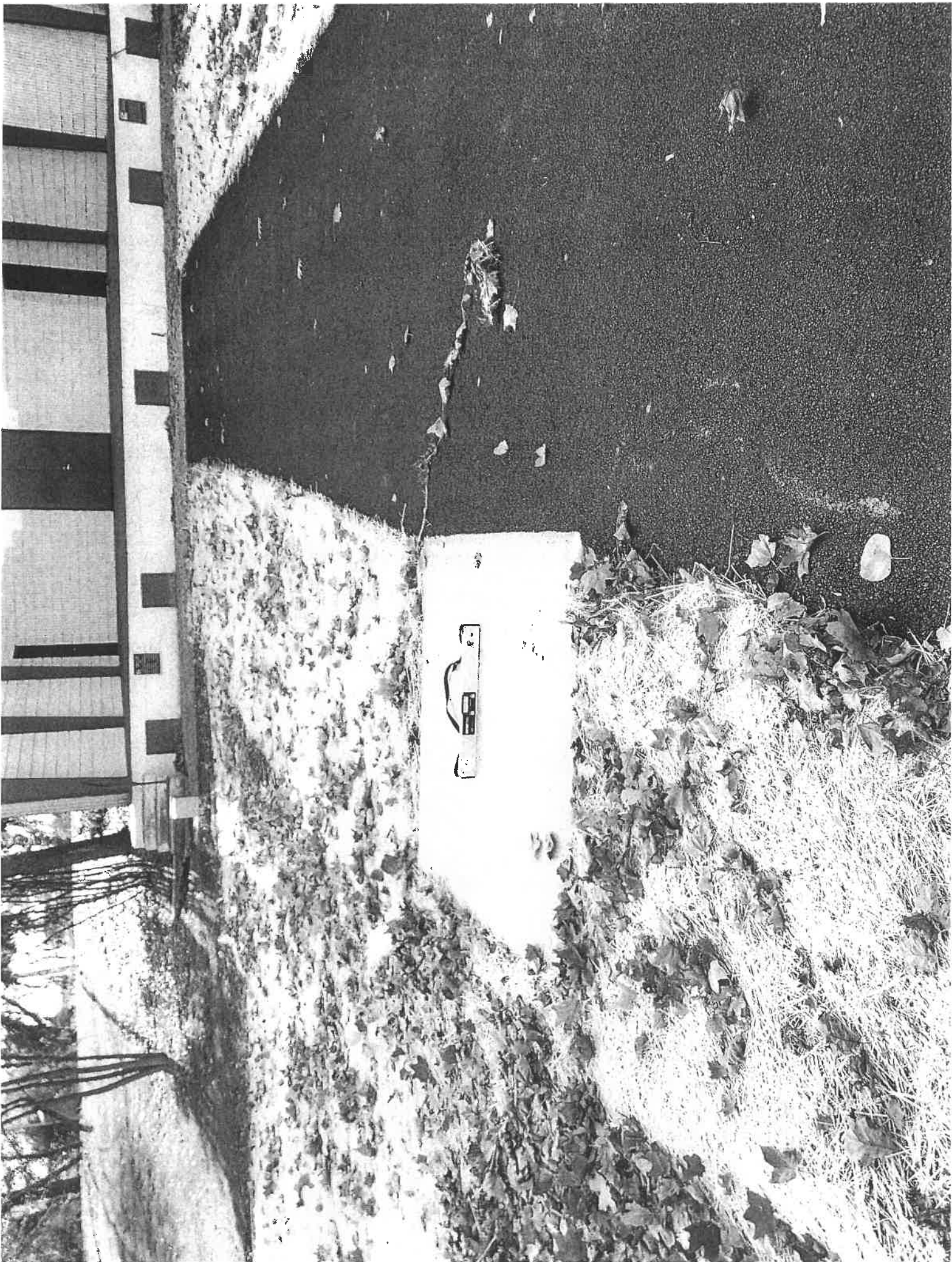


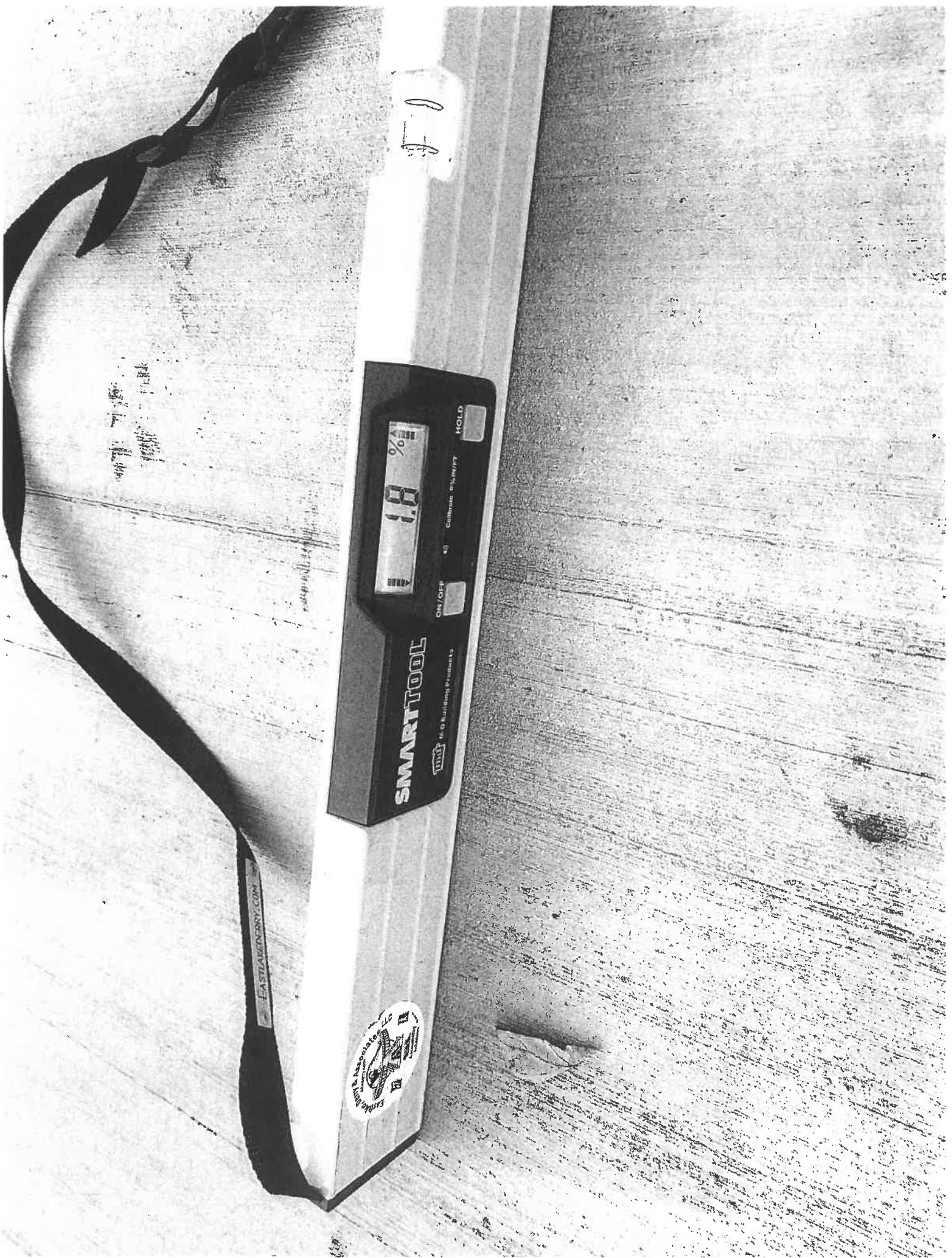


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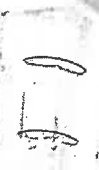


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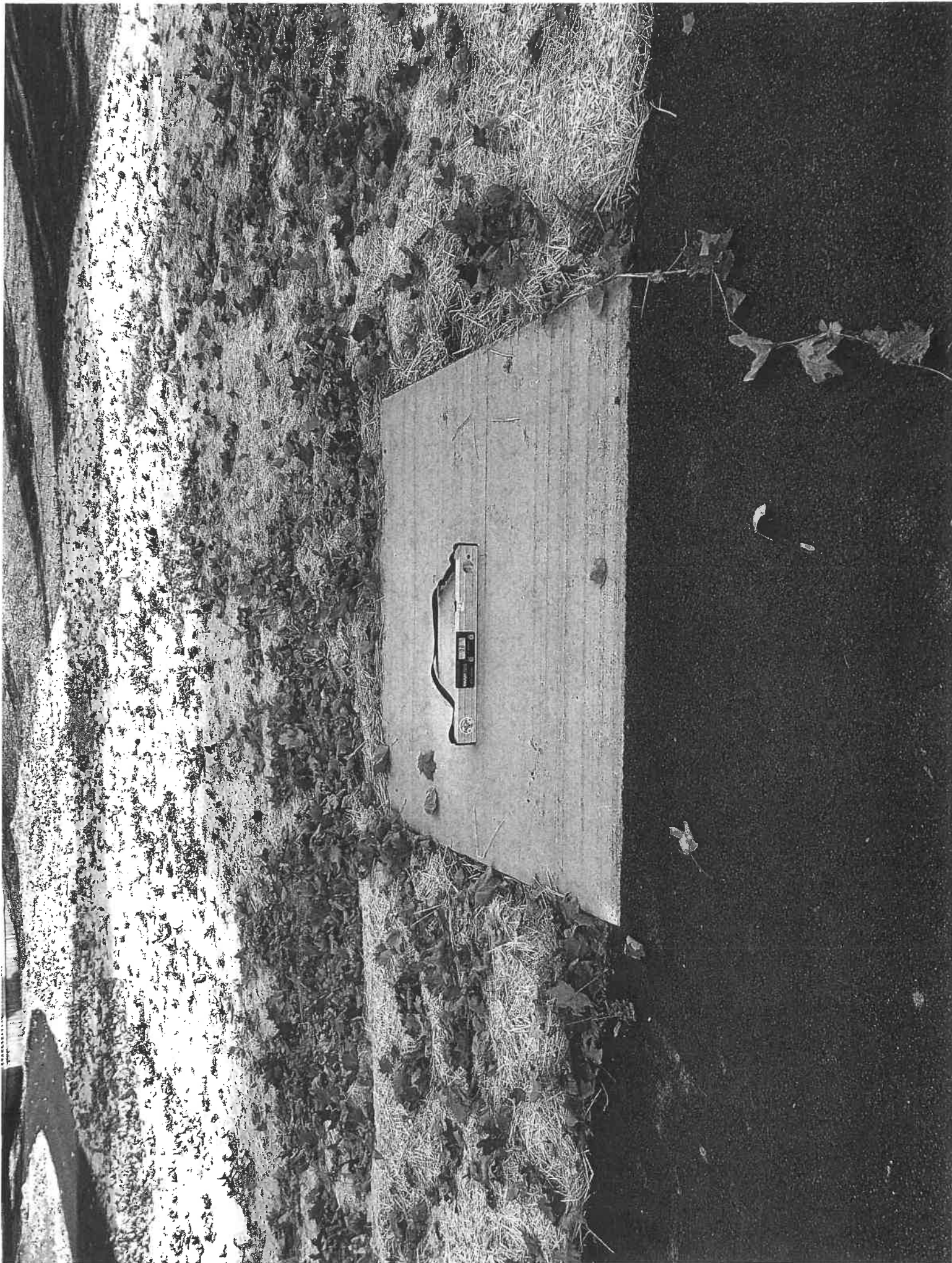
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**SMARTTOOL™**



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