

Title	Finch Park	11/21/2022
	by Jim Holder in Member District ADA Project Request	id. 33421669
	250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org	

Original Submission 11/21/2022

Name	James E Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Finch Park
Project Status	Alteration Addition Maintenance
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces
Benefits of the Project	New pathway allows individuals with mobility issues to access the park and playground from the neighborhood. The project includes an accessible swing seat, two transfer stations, a concrete sloped entry and walk way around the shelter to allow disabled individuals to use the playground and basketball court.

Items that will become ADA Compliant

Swing, both playgrounds, ground play features, shelter, and basketball court.

The project is designed or constructed, or applies human resources, to comply with:

**The 2010 Standards for Accessible Design
The Illinois Accessibility Code
ASTM F 1951 Standard for Accessible Playground Surfaces
Agency's ADA Transition Plan**

Upload Project Related Files, Photos, Videos or Audio

[00_Finch_Pk_ADA_Calculations.pdf](#)

[01_Finch_Park_Playground_Renovation_CDs.pdf](#)

[02_Landscape_Structures_Invoice.pdf](#)

[03_Bid_DJ_Landscape.pdf](#)

[04_Proposal_-Finch_Park_Renovation-Palatine_PD_2.pdf](#)

[20221121_085818.jpg](#)

[20221121_085835.jpg](#)

[20221121_085955.jpg](#)

[20221121_090101.jpg](#)

[IMG_2627.jpg](#)

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[IMG_2629.jpg](#)

[IMG_2630.jpg](#)

[IMG_2631.jpg](#)

[IMG_2634.jpg](#)

[IMG_2637.jpg](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested

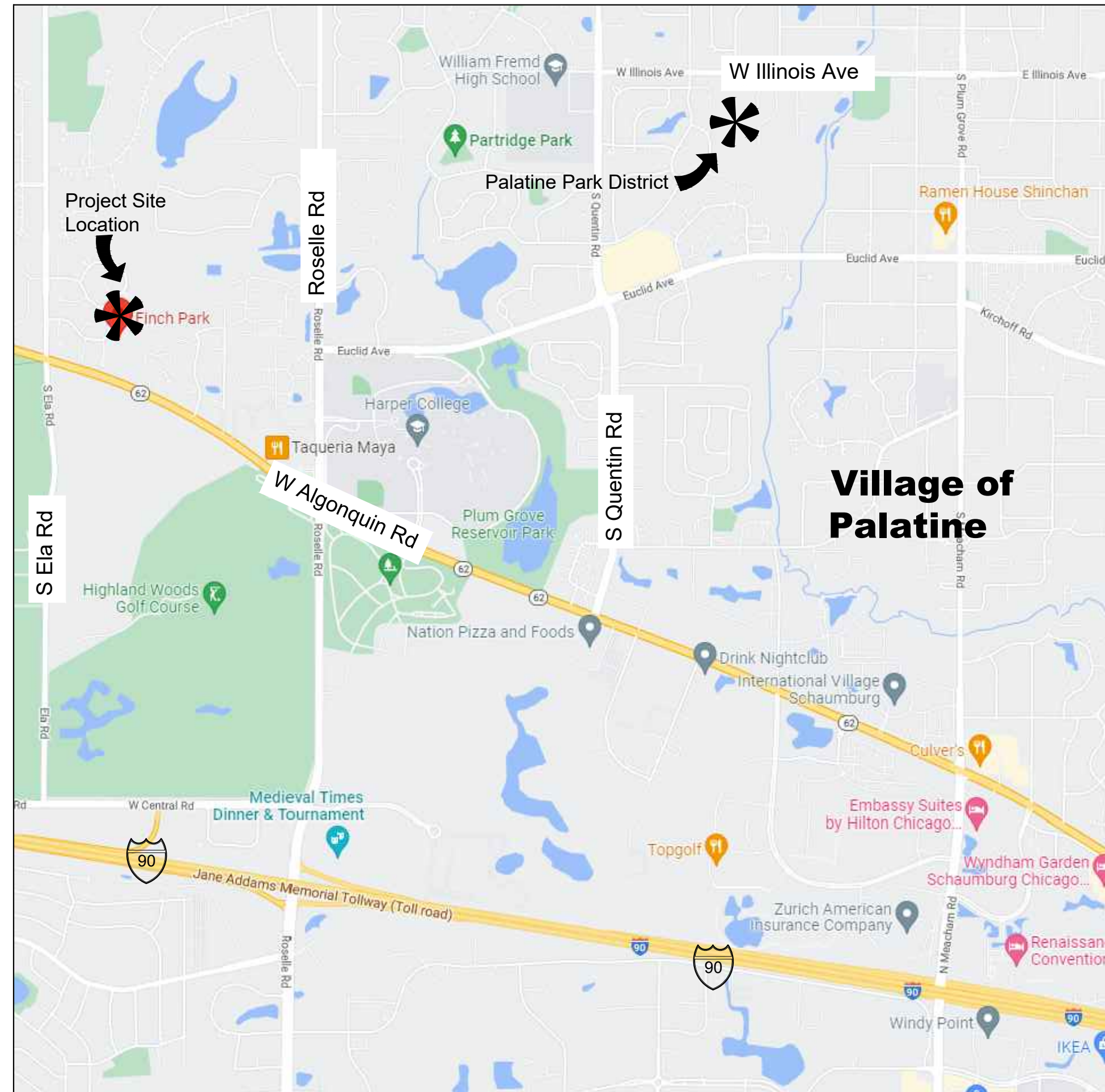
64195.1

Notes related to requested amount

n/a

Finch Park Renovation

3451 N Wilshire Dr.
Hoffman Estates, Illinois 60179



Palatine Park District
435 W. Illinois Ave.
Palatine, IL 60067

LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:



IL License 060-007797

SURVEYOR

JLH Land Surveying inc.
910 Geneva St.
Shorewood, Illinois 60404
Phone: 815-729-4000
ILicense: 184007120

SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan
- 3.0 Layout Plan
- 4.0 Dimension Plan
- 5.0 Grading & Restoration Plan
- 6.0 Drainage Plan
- 7.0 Construction Details
- 7.1 Construction Details

This project has been prepared by and reviewed by Licensed Landscape Architects.
Michelle A. Kelly # 157.001002
Heath A. Wright # 157.000994
Maria Blood # 157.001511

REVISIONS

MB/HH/EM	Issue for Bid	23MAR2020

ORIGINAL ISSUE DATE

Issue for Bid 23MAR2022

PROJECT NUMBER

1002

PROJECT NAME

**Finch Park
Renovation**

SHEET TITLE

Title Sheet

SHEET NUMBER

1.0



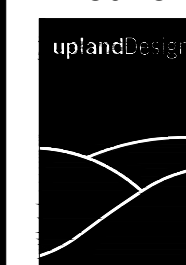


435 W Illinois Ave,
Palatine, Illinois 60067
Phone: 847-359-9697

PROJECT
**Finch Park
Renovation**

3451 N Wilshire Dr,
Hoffman Estates, Illinois 60067

PROJECT TEAM

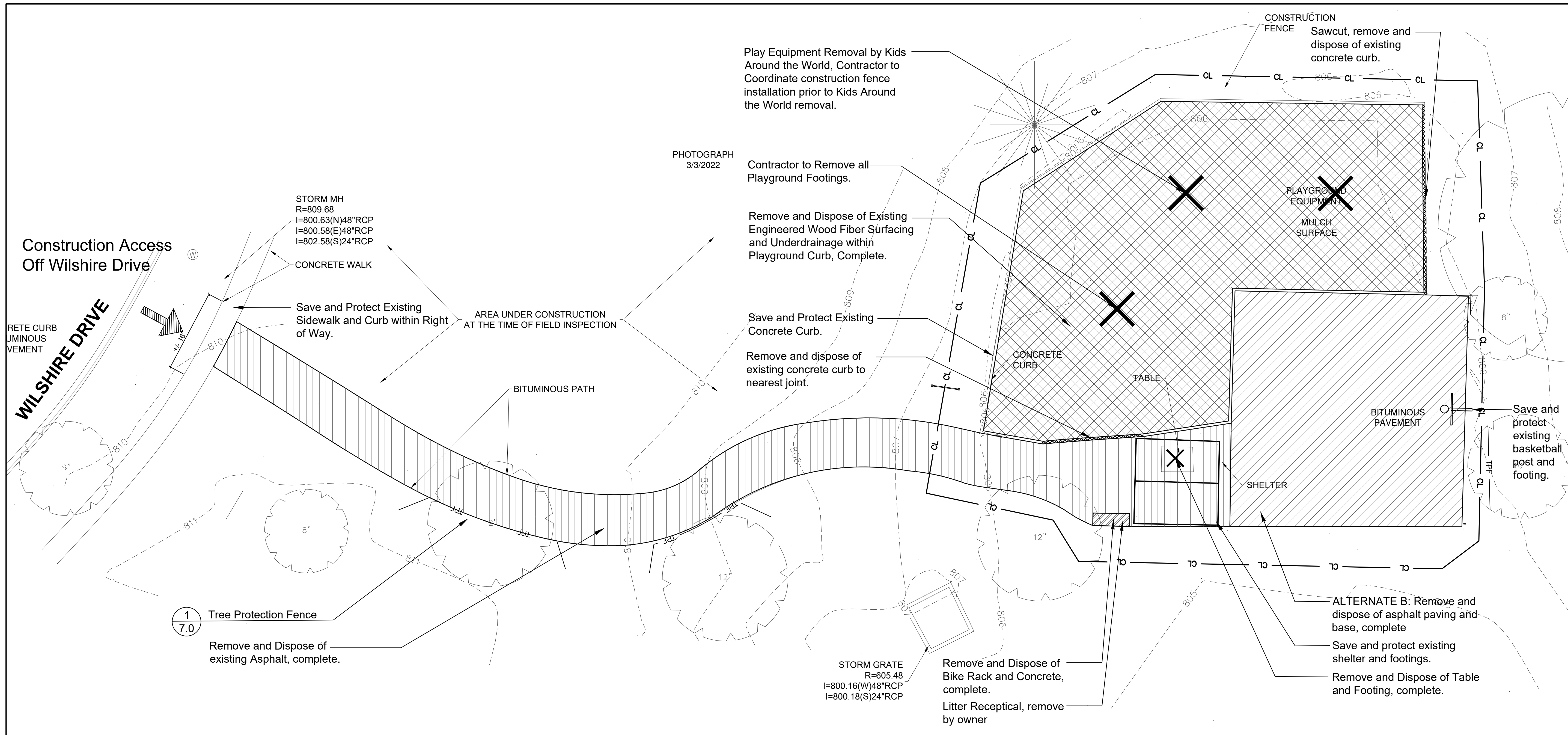


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815-254-0091 www.uplandDesign.com

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GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- A Topographic Survey was completed for the Owner by: JLH Land Surveying Inc. 910 Geneva St. Geneva, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
- Construction fence to be 6' standing chainlink per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or re-inspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY BENCHMARK AJ2838

STATION IS LOCATED WITHIN THE CITY LIMITS OF SCHAUMBURG, 3.0 MI SOUTHEAST OF SOUTH BARRINGTON IN SECTION 32, T42N, R10E. TO REACH FROM THE JUNCTION OF IL RT 62 AND ELA RD PROCEED SOUTH ON ELA RD TO CENTRAL RD, THEN PROCEED EAST ON CENTRAL RD 0.25 MI TO THE STATION LOCATED 50 FT NORTH OF THE CONCRETE MEDIAN OF CENTRAL RD, 0.35 MI WEST OF ROSELLE RD, 0.15 MI WEST OF THE WEST ENTRANCE TO THE SCHAUMBURG TECHNOLOGICAL CENTER/CENTER COURT). STATION IS 235 FT WEST OF CENTERLINE OF BITUMINOUS ENTRANCE, 142 FT WEST OF A CATCH BASIN, 35.7 FT NORTH OF THE CENTERLINE OF WESTBOUND CENTRAL RD, 22 FT NORTH OF THE BACK OF CURB OF CENTRAL RD, AND 2.0 FT SOUTH OF AN ORANGE FIBERGLASS WITNESS POST. NOTE- ACCESS TO DATUM POINT THROUGH 6 INCH LOGO CAP. DATUM POINT IS 0.50 FT BELOW CAP. PK NAILS WERE SET IN WOOD PHYSICAL TIES

ELEVATION=771.10(NAV88)

LEGEND

- UTILITY POLE
- LIGHT POLE
- TRANSFORMER
- UTILITY PEDESTAL
- A/C UNIT
- GAS VALVE
- WATER VALVE
- ELECTRIC METER
- GAS METER
- FIRE HYDRANT
- GROUND LIGHT
- B-BOX
- FLAG POLE
- MANHOLE
- SANITARY MANHOLE
- STORM STRUCTURE (CLOSED)
- STORM STRUCTURE (OPEN)
- CURB INLET
- VALVE VAULT
- DOWN SPOUT
- CONCRETE SURFACE
- (REC) RECORD BEARING/DISTANCE

REMOVALS LEGEND

- Remove and Dispose of Existing Engineered Wood Fiber
- Remove and Dispose of Existing Asphalt Paving
- ALTERNATE: Remove and Dispose of Existing Asphalt Paving
- Remove and Dispose of Existing Concrete Paving
- Remove and Dispose of Item as Marked
- Construction Fence / 6' Construction Limits
- Remove and Dispose of Existing Curb



SCALE: 1" = 10'-0"



REVISIONS

MB/HH/EM	Issue for Bid	23MAR2022

ORIGINAL ISSUE DATE 23MAR2022

Issue for Bid

PROJECT NUMBER

1002

SHEET TITLE

**Existing
Conditions &
Removals Plan**

SHEET NUMBER

2.0



435 W Illinois Ave,
Palatine, Illinois 60067
Phone: 847-359-9697

PROJECT
**Finch Park
Renovation**

3451 N Wilshire Dr,
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PROJECT TEAM

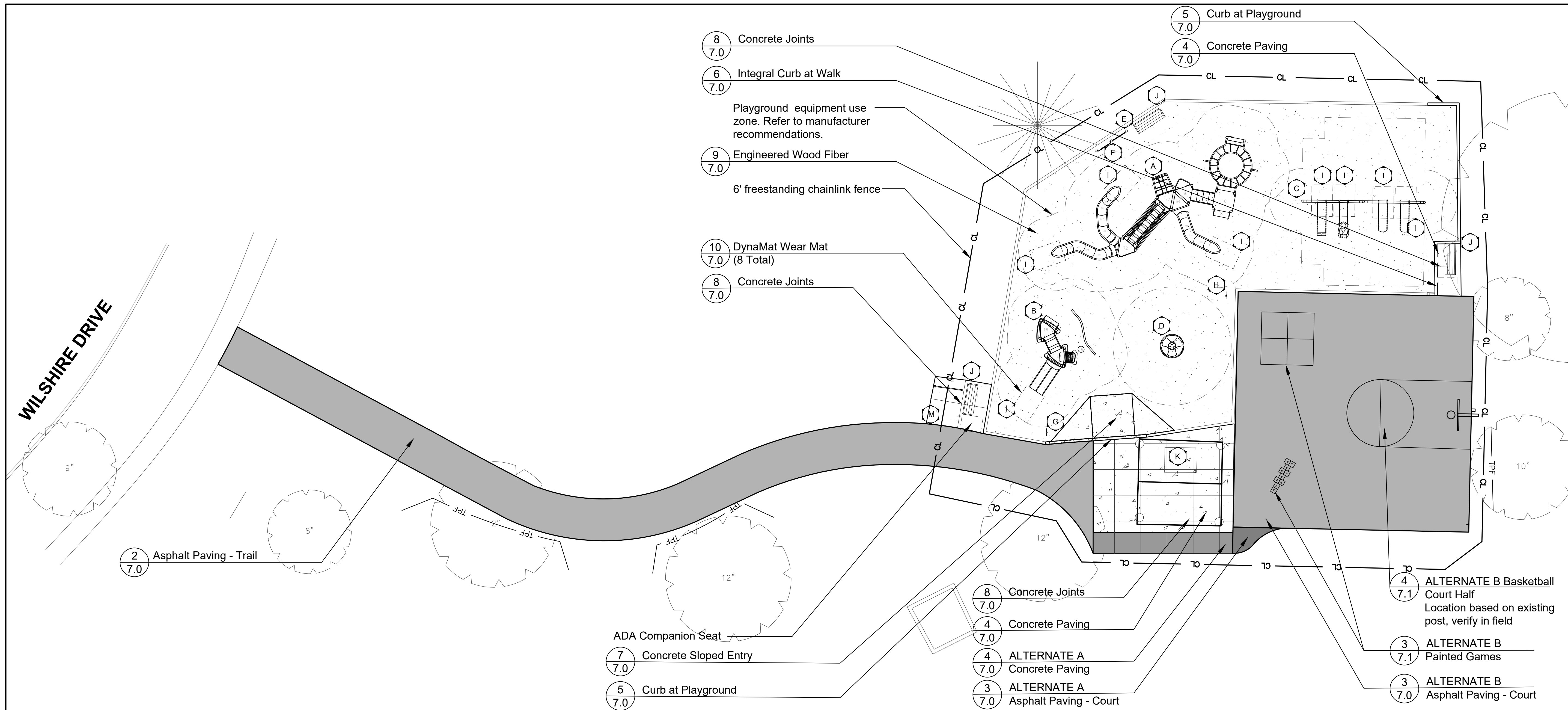


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SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	5-12 Play Structure	Post: Metallic Silver Plastic: Denim Accent: Limon Deck: Gray	1	#PLT22FIN4	Landscape Structures	Nutoys Leisure Products (800) 526-6197
B	2-5 play Structure	Post: Metallic Silver Plastic: Denim Accent: Limon Deck: Gray	1	#PLT22FIN4	Landscape Structures	Nutoys Leisure Products (800) 526-6197
C	Swings	Post: Metallic Silver Plastic: Denim Accent: Limon	1	2 Blet Seat: #174018A 1 Bucket Seat: #176038A 1 ADA Seat: #177351A	Landscape Structures	Nutoys Leisure Products (800) 526-6198
D	ReviWheel Spinner	Plastic: Denim Accent: Limon	1	#295695A	Landscape Structures	Nutoys Leisure Products (800) 526-6199
E	Image Reach Panel	Post: Tangerine Plastic: Gray	1	#129043A	Landscape Structures	Nutoys Leisure Products (800) 526-6200
F	Marble Panel	Post: Metallic Silver Plastic: Limon	1	#173567B	Landscape Structures	Nutoys Leisure Products (800) 526-6201
G	Welcome Sign 2-5 Years	Post: Metallic Silver	1	#182503A	Landscape Structures	Nutoys Leisure Products (800) 526-6202
H	Welcome Sign 5-12 Years	Post: Metallic Silver	1	#182503C	Landscape Structures	Nutoys Leisure Products (800) 526-6203
I	DynaMat Wear Mat	Black	8	2" Dynacushion	Piercetron Rubber Products	815-496-3282
J	Bench		3		By Owner	By Owner
K	Table		1		By Owner	By Owner
L	Litter Receptacle		1		By Owner	Owner
M	Bike Rack		1'		By Owner	Owner

GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- Contractor shall follow Village of Palatine permit requirements as part of the project.
- Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
- All play equipment footings shall meet manufacturers recommendations for footing depth and width.

REFERENCED SPECIFICATIONS AND CODES

- The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
- All codes and ordinances of the Village of Palatine, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration.
- The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.

LEGEND

- Asphalt Paving - Trail
- ALTERNATE: Asphalt Paving - Trail
- Concrete Paving
- ALTERNATE: Concrete Paving
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CL Construction Fence / 6' Construction Limits
- Dynamat

REVISIONS

MB/HH/EM	Issue for Bid	23MAR2022

ORIGINAL ISSUE DATE 23MAR2022

Issue for Bid

PROJECT NUMBER

1002

SHEET TITLE

Layout Plan

SHEET NUMBER

3.0

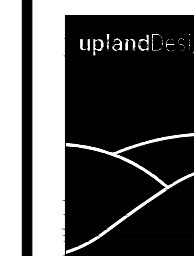


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PROJECT
Finch Park Renovation

3451 N Wilshire Dr,
Hoffman Estates, Illinois 60067

PROJECT TEAM

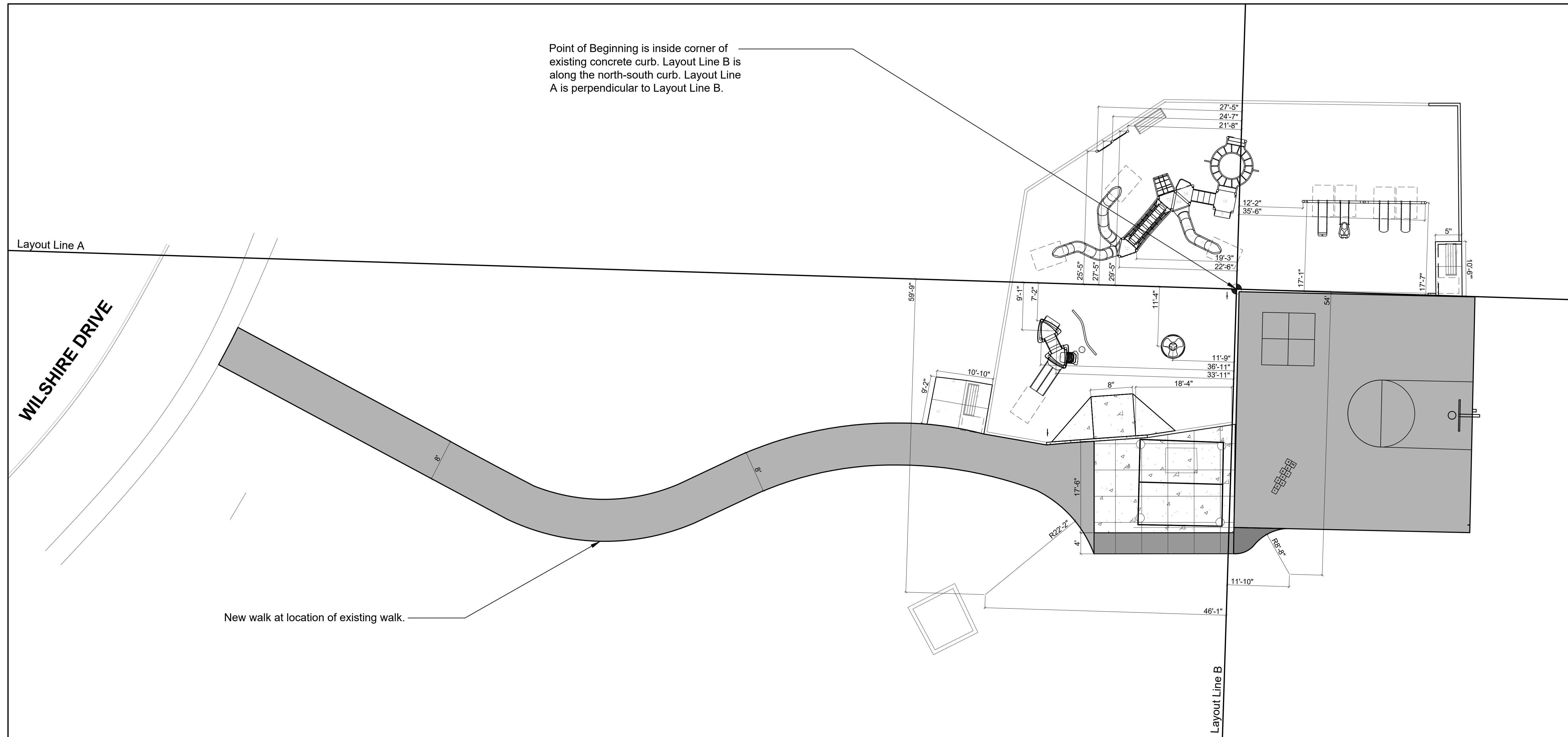


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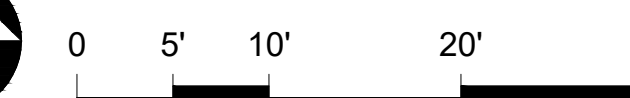
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815-254-0091 www.uplandDesign.com

SURVEYOR

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Shorewood, Illinois 60404
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IL License 184007120



SCALE: 1" = 10'-0"



GENERAL NOTES: DIMENSION

- Layout of equipment is to center of post.
- Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
- Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
- Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
- See Layout Plan, Sheet 3.0 for additional general notes and referenced specifications and codes.
- Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

LEGEND

- Asphalt Paving - Trail
- ALTERNATE: Asphalt Paving - Trail
- Concrete Paving
- ALTERNATE: Concrete Paving
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
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REVISIONS

MB/HH/EM	Issue for Bid	23MAR2022

ORIGINAL ISSUE DATE 23MAR2022

Issue for Bid

PROJECT NUMBER

1002

SHEET TITLE

Dimension Plan

SHEET NUMBER

4.0

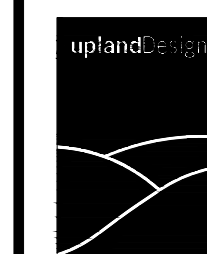


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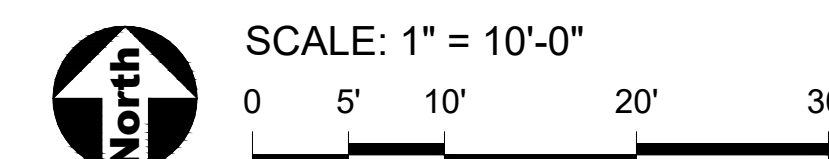
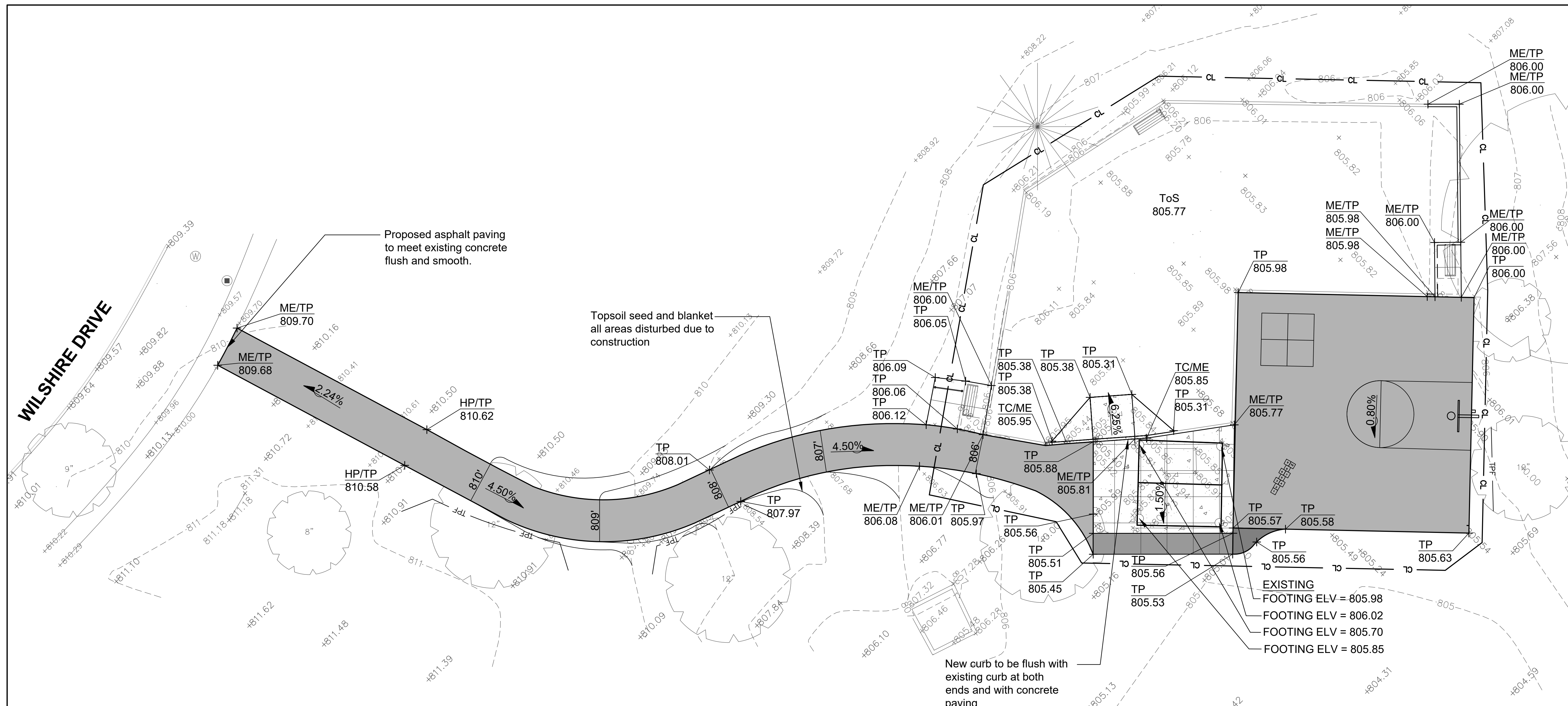
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GENERAL NOTES: GRADING

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
8. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.

INDEX OF ACRONYMS AND ABBREVIATIONS

- (INV) Pipe Invert Elevation
- (ME) Match Existing Elevation
- (TC) Top of Curb
- (ToS) Top of Surface
- (TP) Top of Pavement

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.33 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% — Drainage Flow Direction
- CL — Construction Fence / 6' Construction Limits

REVISIONS

MB/HH/EM	Issue for Bid	23MAR2022

ORIGINAL ISSUE DATE 23MAR2022
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PROJECT NUMBER
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SHEET TITLE

Grading & Restoration Plan

SHEET NUMBER

5.0

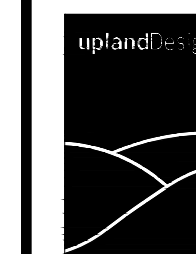


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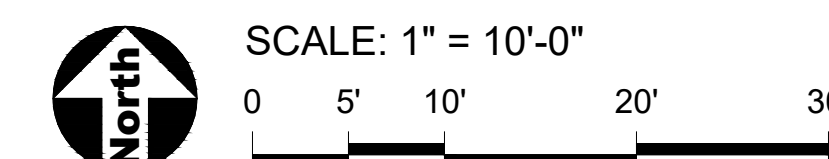
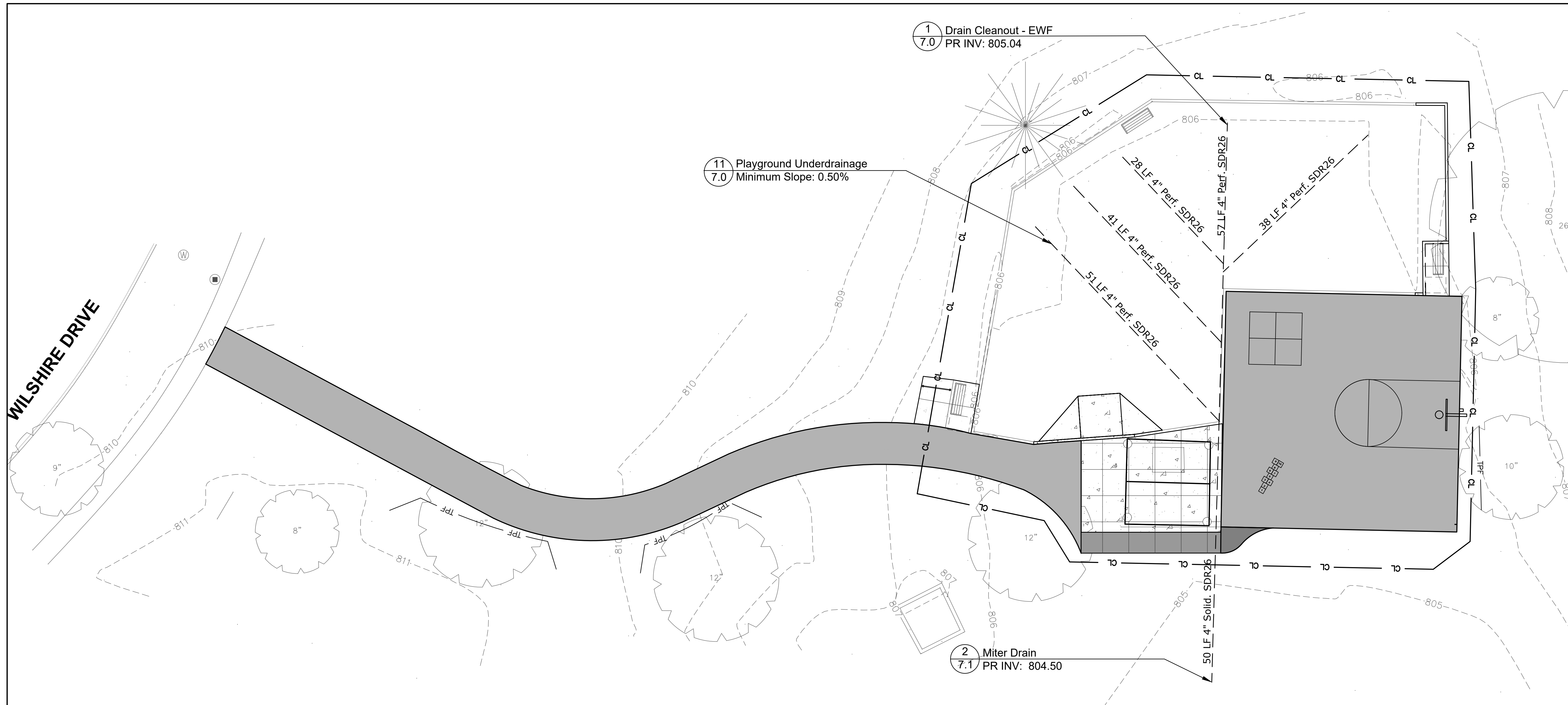


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LEGEND

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SHEET TITLE

Drainage Plan

SHEET NUMBER

6.0

REVISIONS		
MB/HH/EM	Issue for Bid	23MAR2022

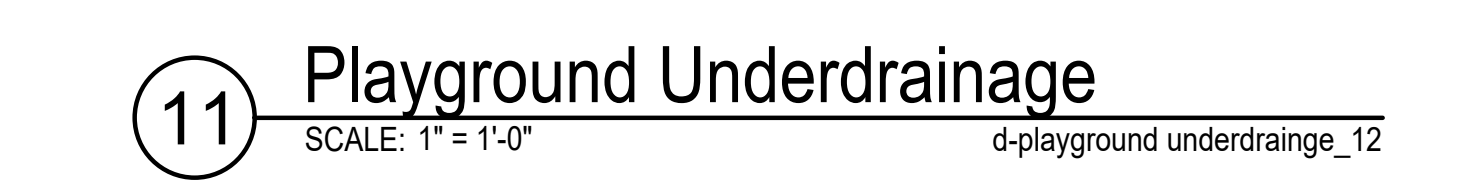
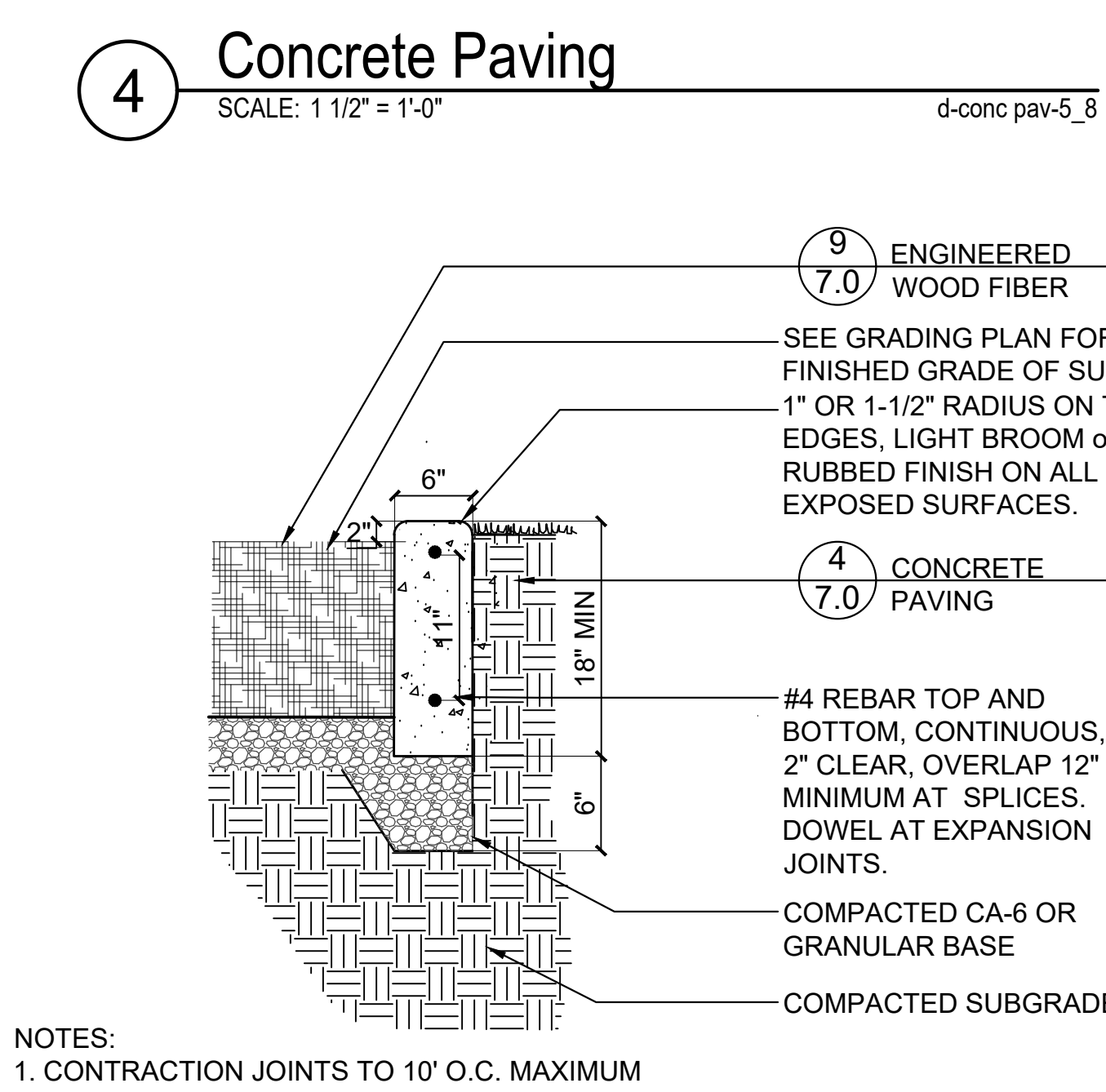
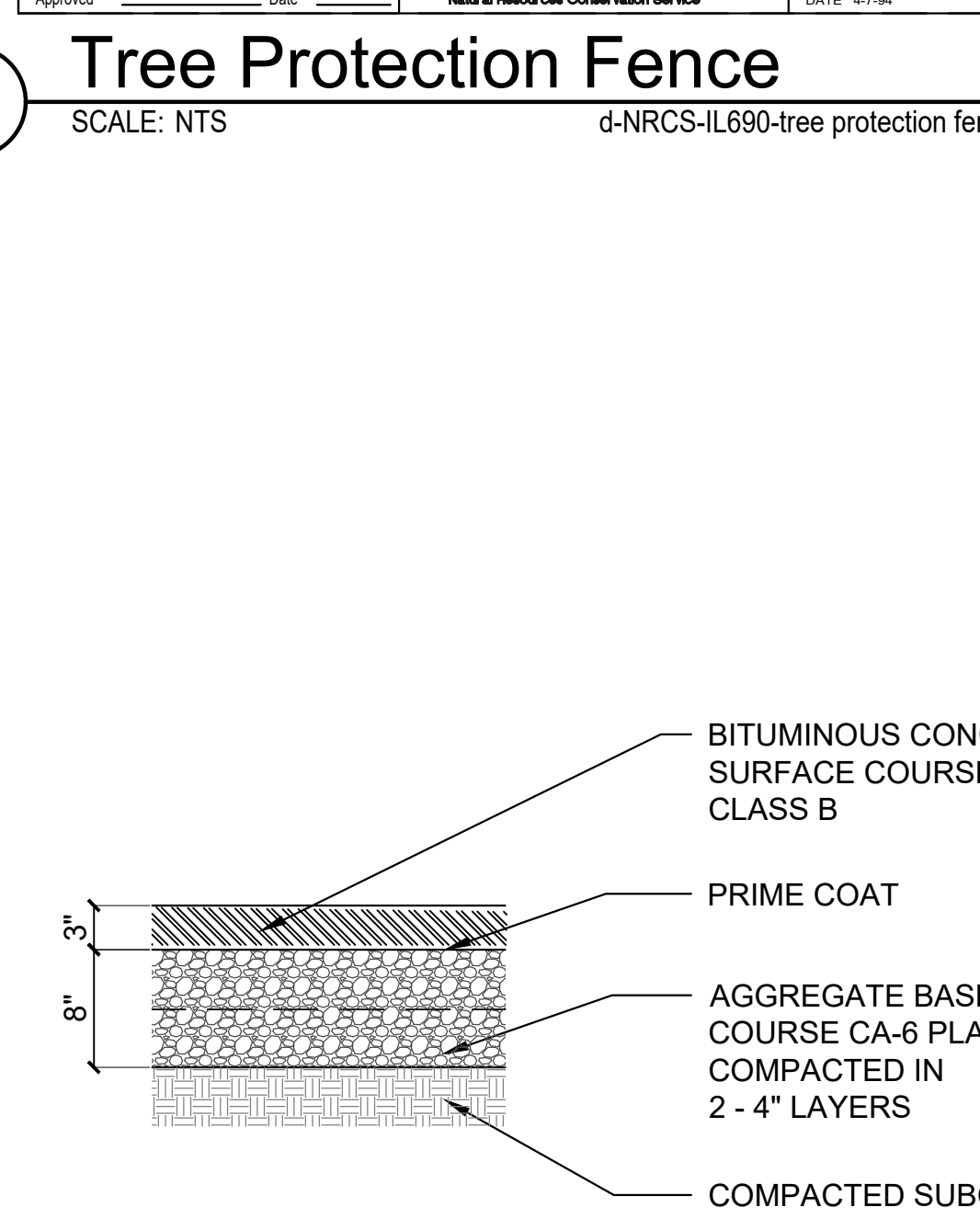
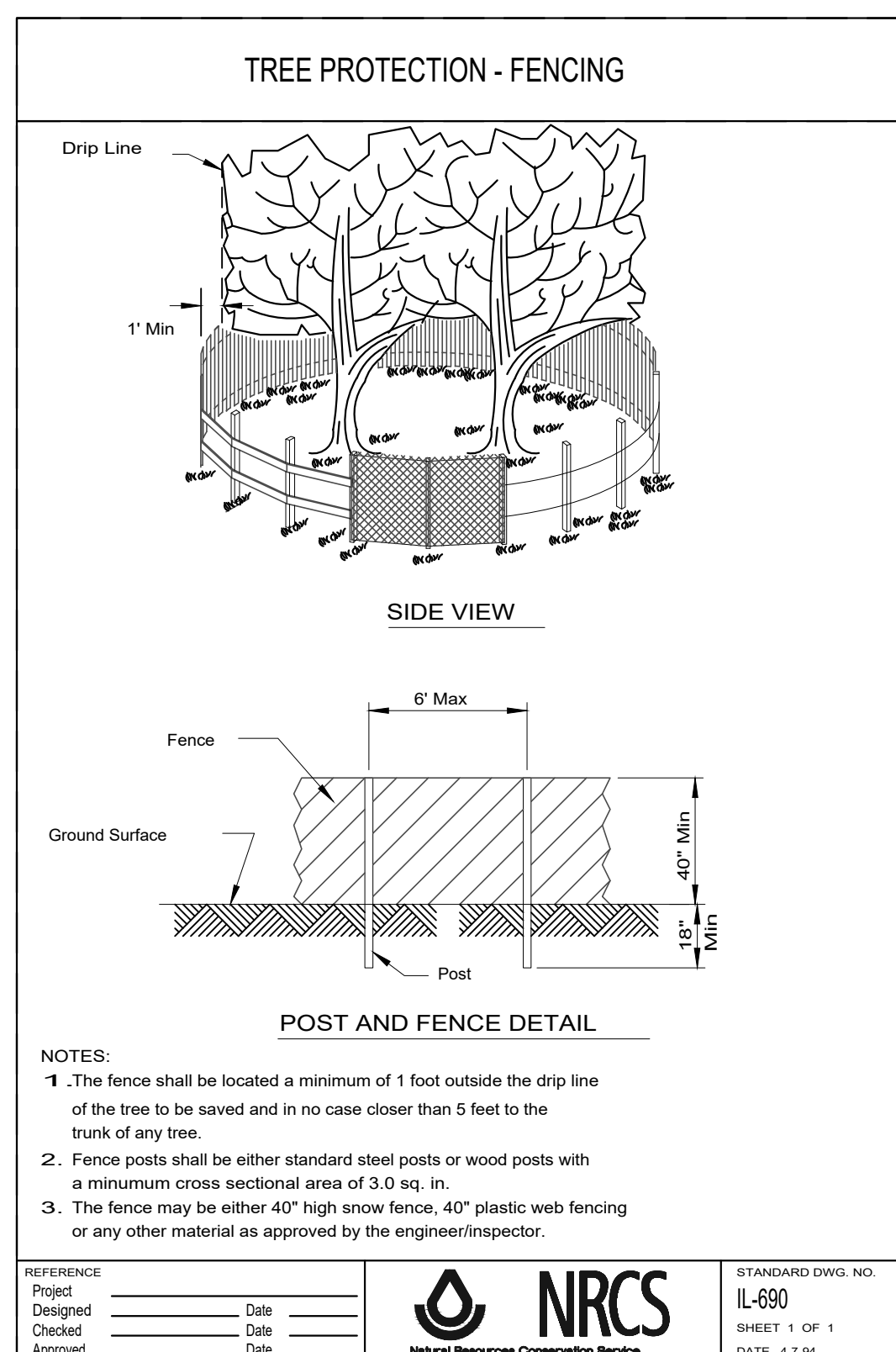
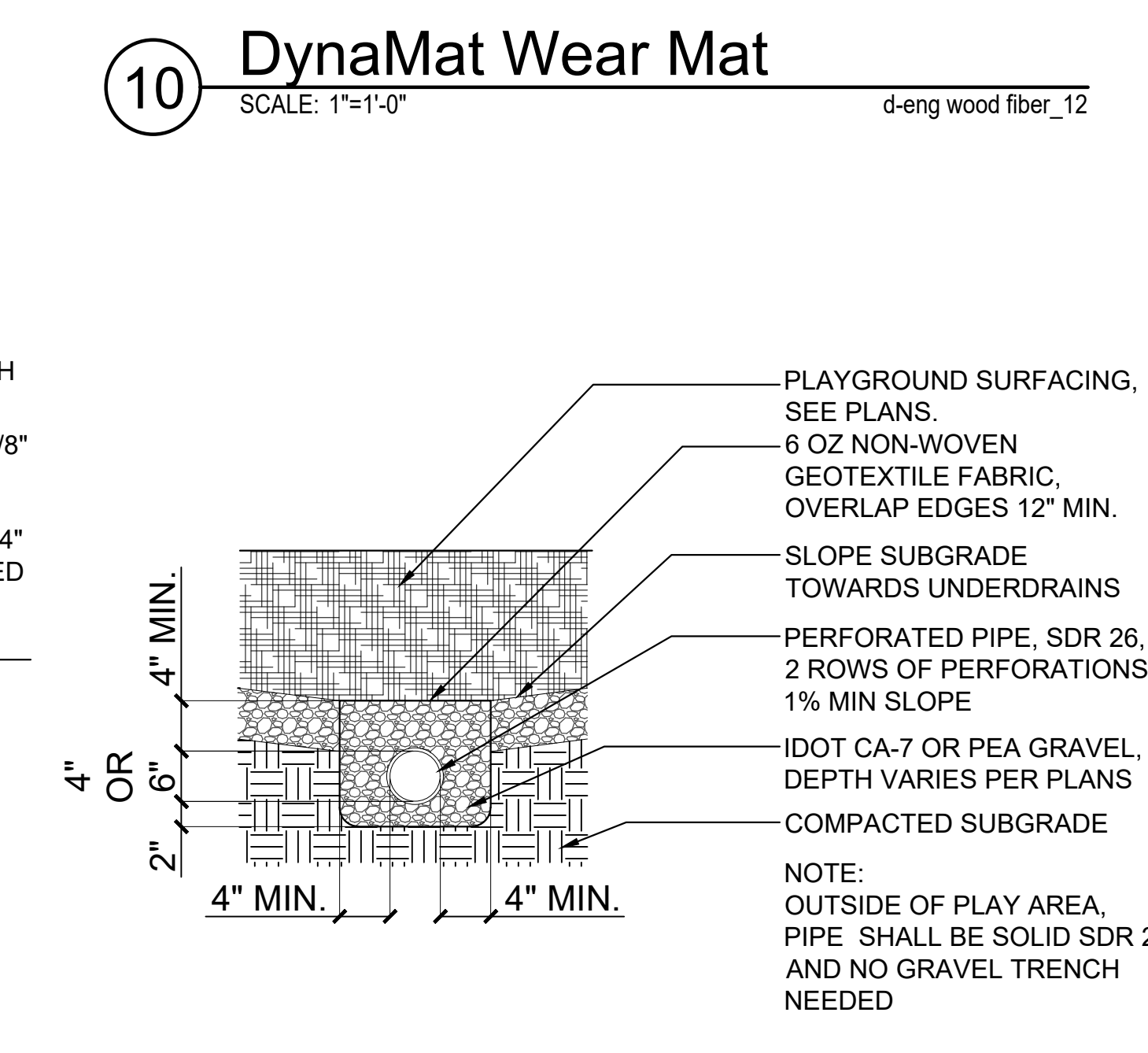
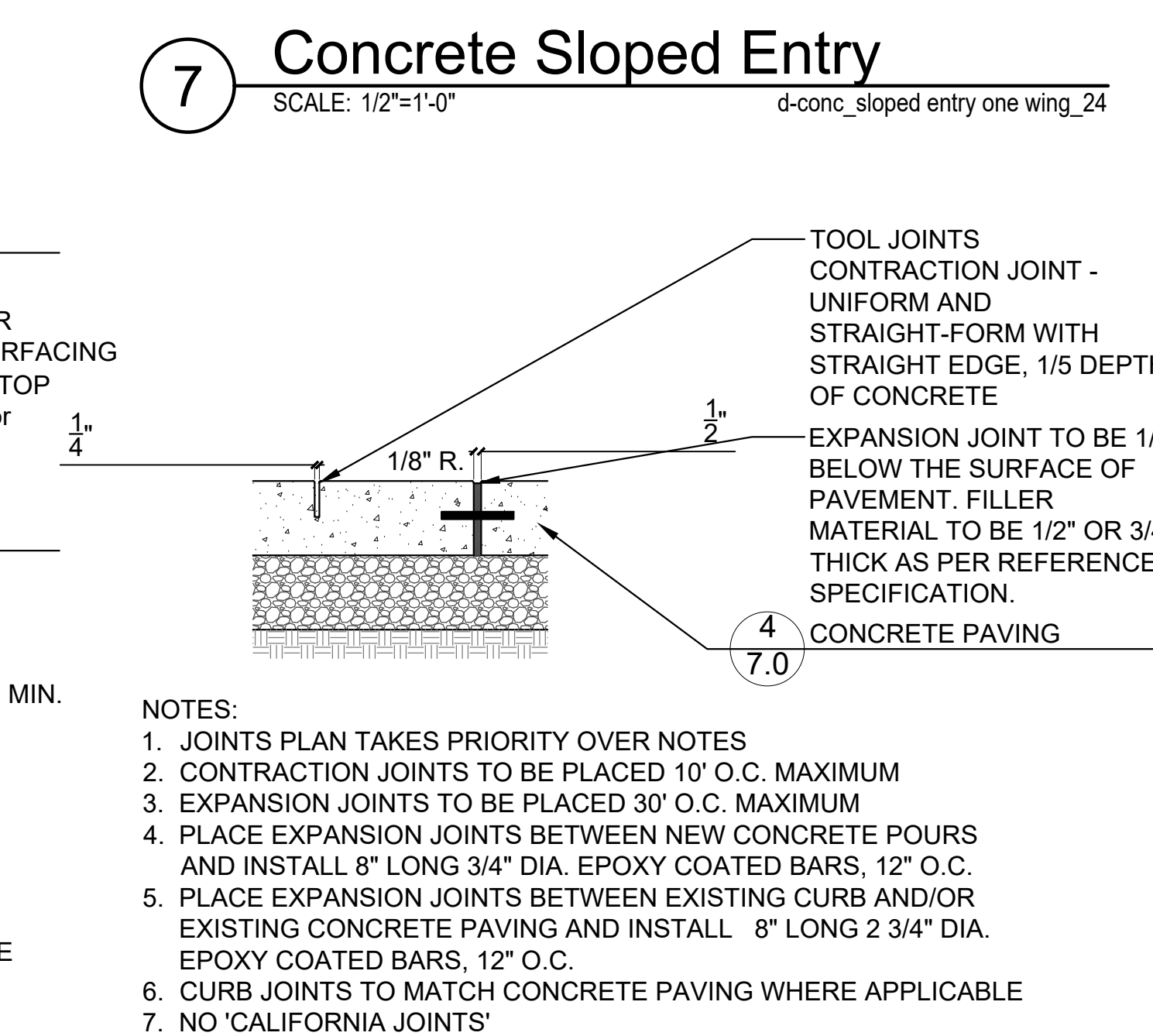
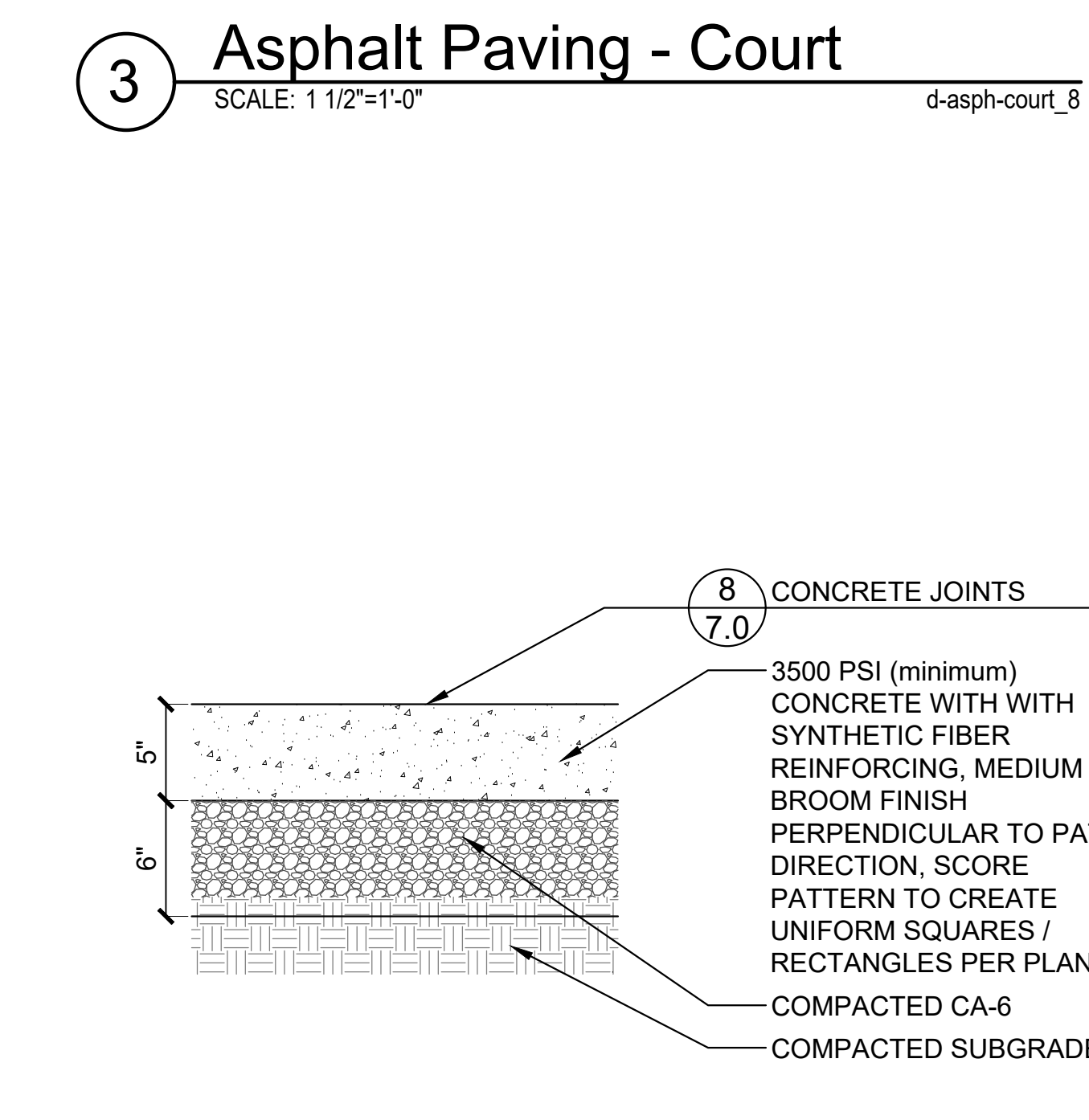
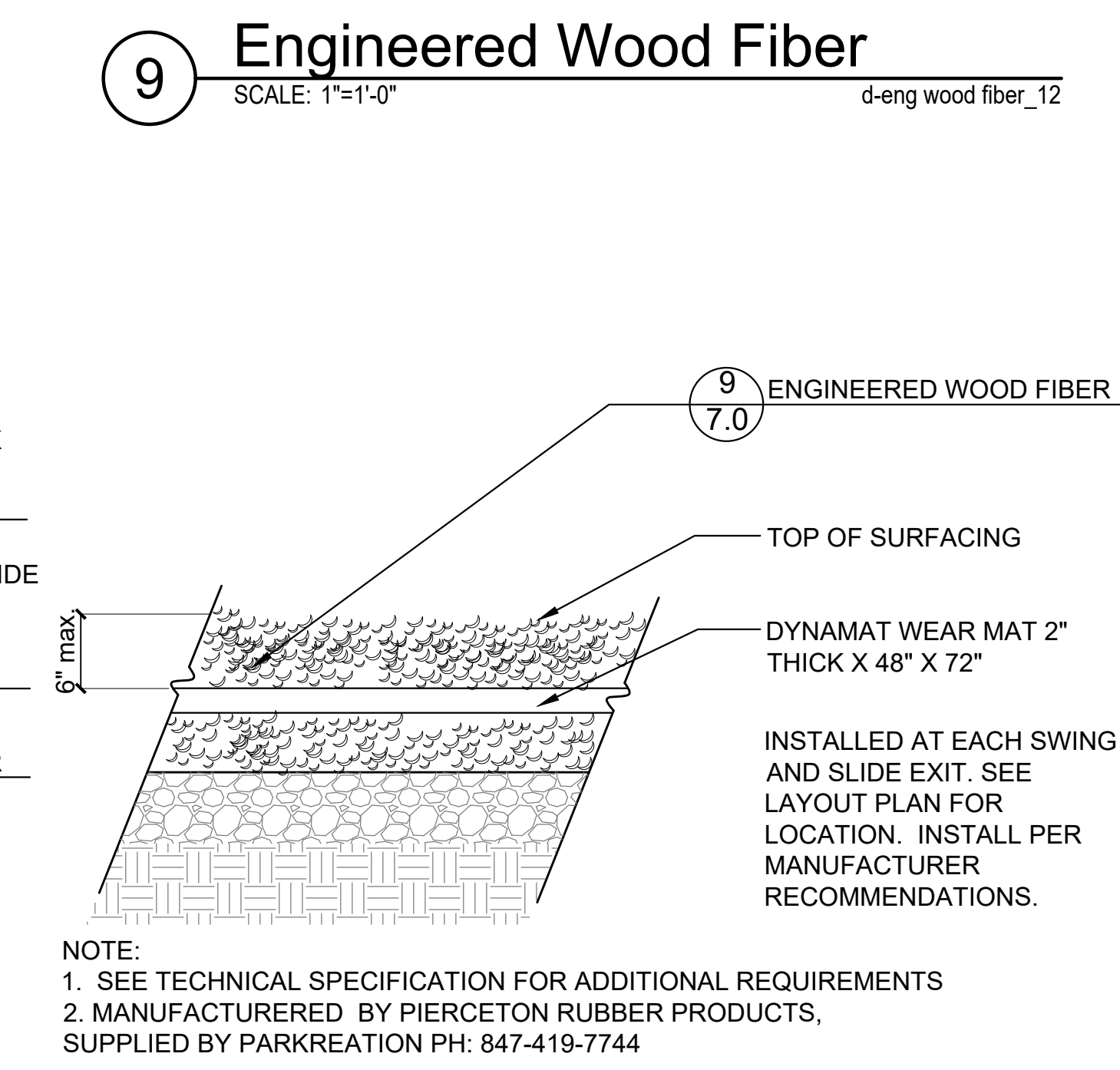
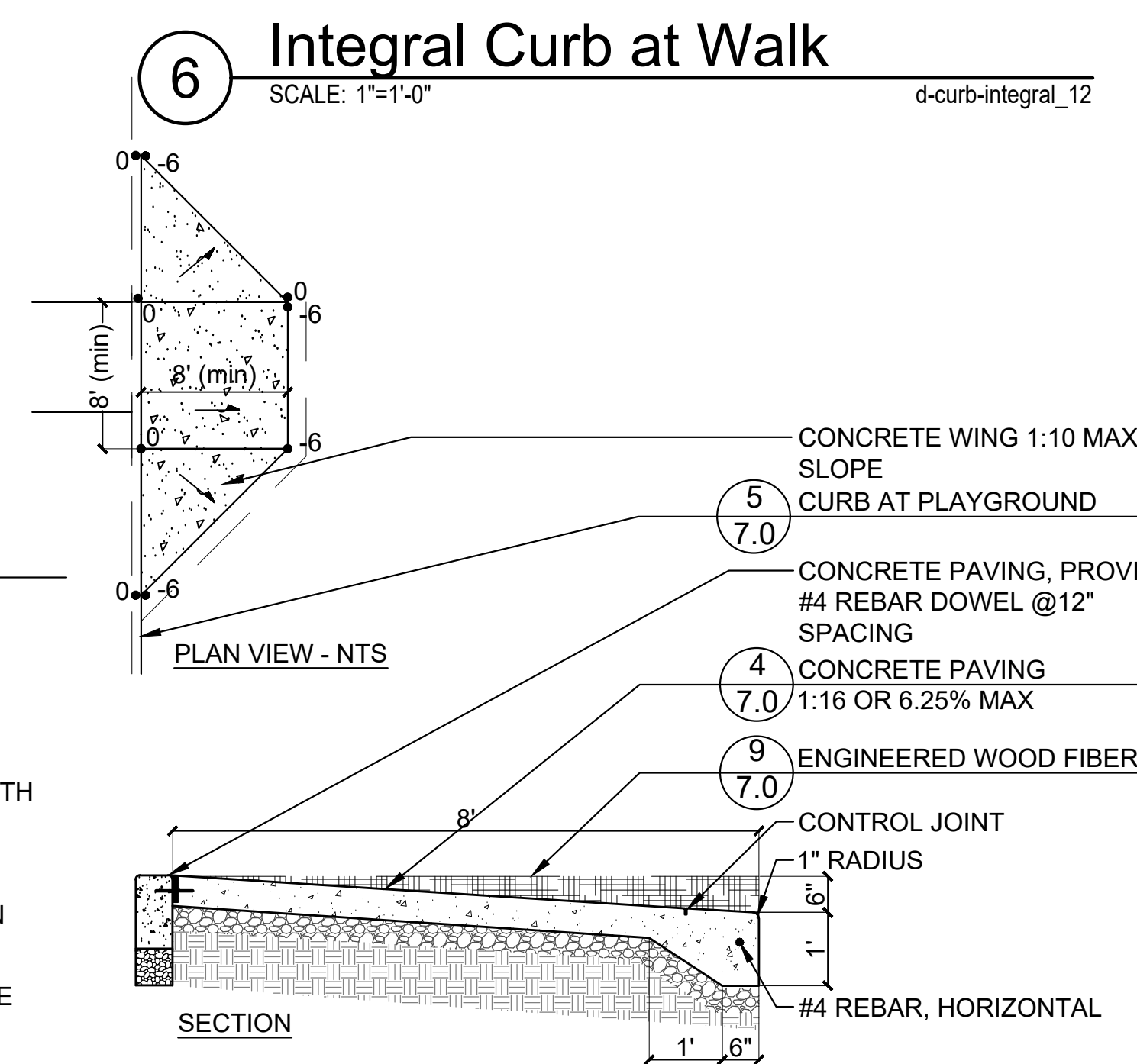
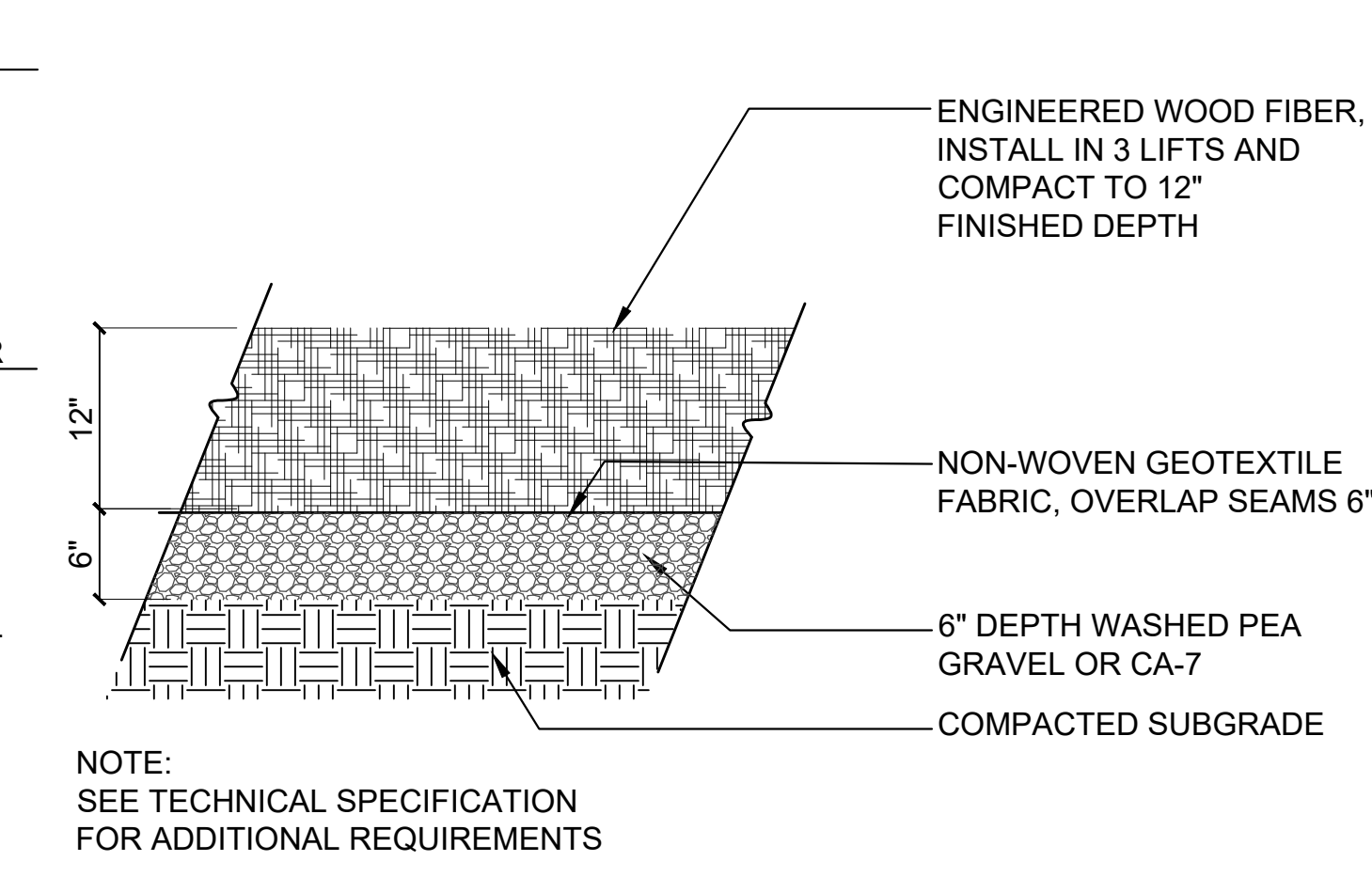
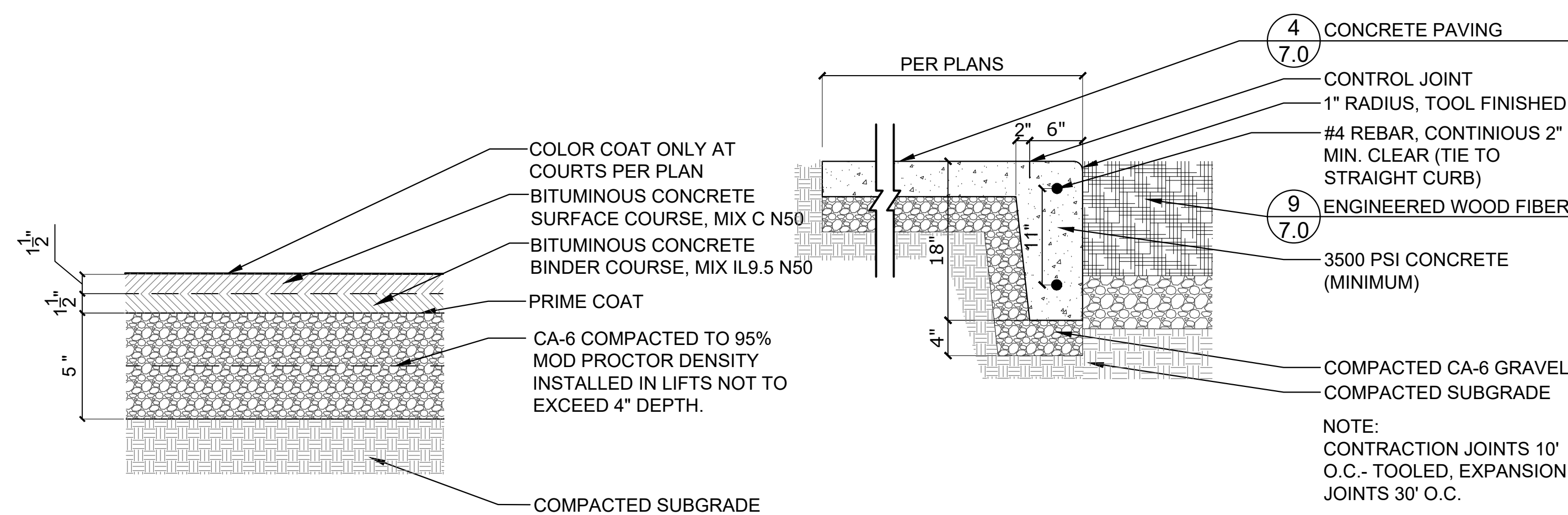
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SHEET TITLE

Construction Details

SHEET NUMBER



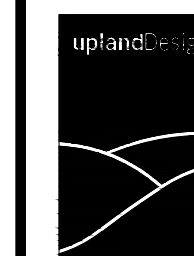


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Issue for Bid

PROJECT NUMBER

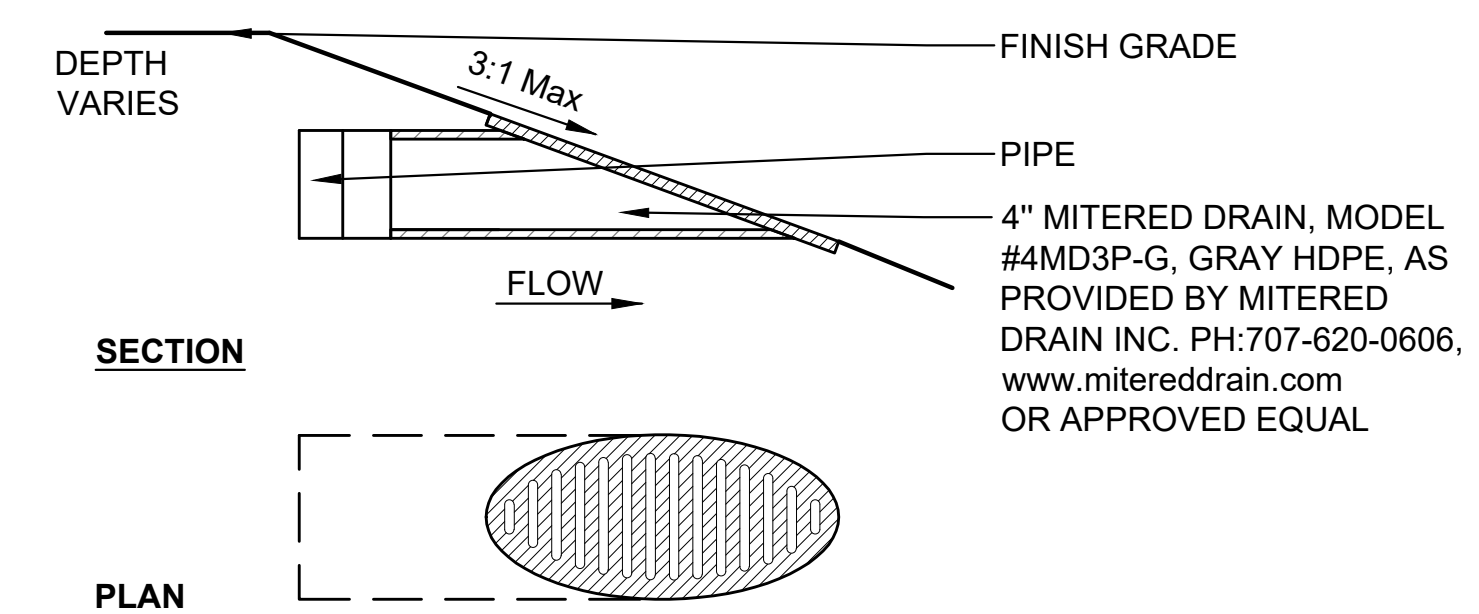
1002

SHEET TITLE

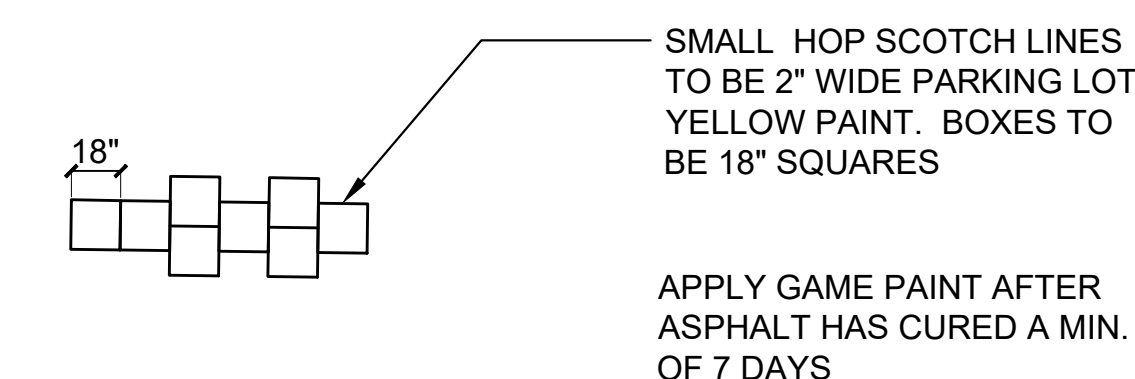
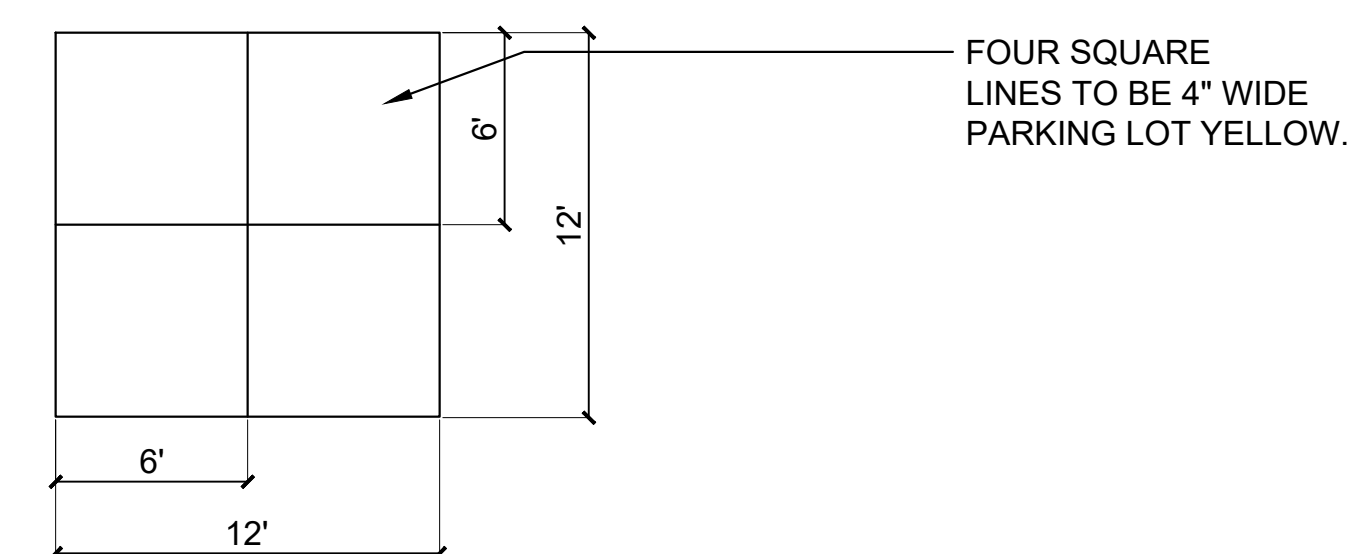
**Construction
Details**

SHEET NUMBER

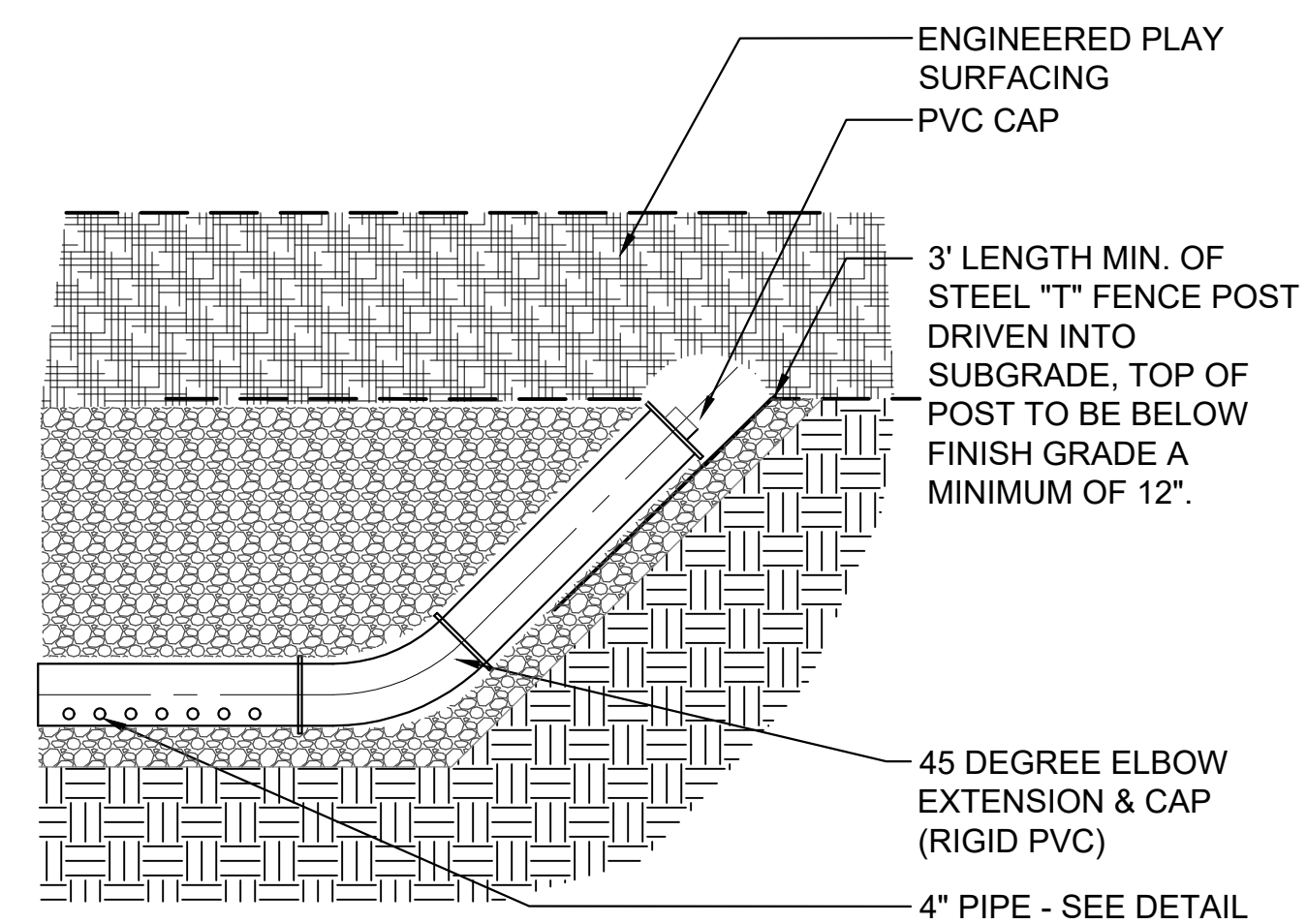
7.1



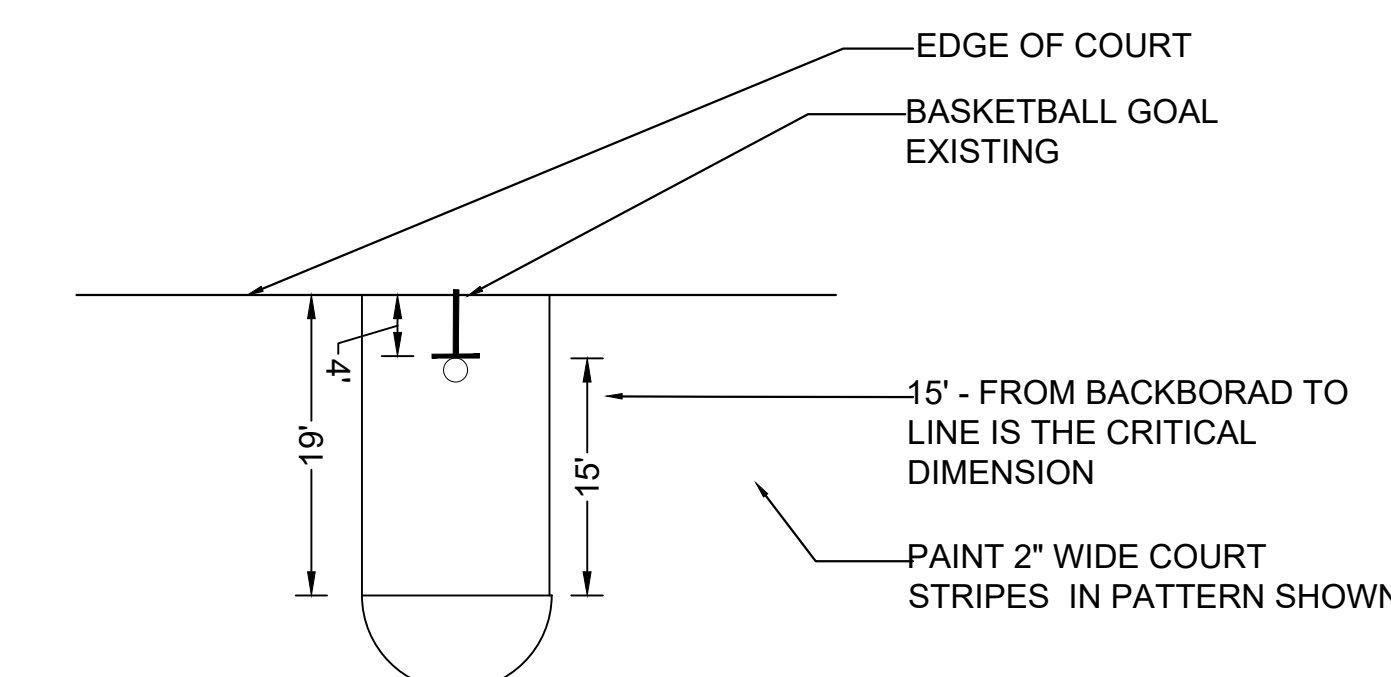
2 Mitered Drain
SCALE: 1 1/2"=1'-0" d-mitered drain_8



3 Painted Games
SCALE: N.T.S. d-play-painted games_12.dwg



1 Drain Cleanout - EWF
SCALE: N.T.S. d-drain cleanout-EWF_12



4 Basketball Half Court
SCALE: 1" = 10' halfcourt-basketball







