

Project Location	Dutch Schultz Park	11/21/2019
	by Jim Holder in Member District ADA Project Request	id. 14509235
	ADAProjects@palatineparks.org	

Original submission 11/21/2019

Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	ADAProjects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces Walking Surfaces
Benefits of the Project	Add accessible swing, transfer stations, sloped entry, concrete and play features to allow disabled individuals to use the playground.
Items that will become ADA Compliant	Swing, transfer stations, play features and an entry path.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code ASTM F 1951 Standard for Accessible Playground Surfaces Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[2019_Playgrounds_Bid_Tab.xlsx](#)


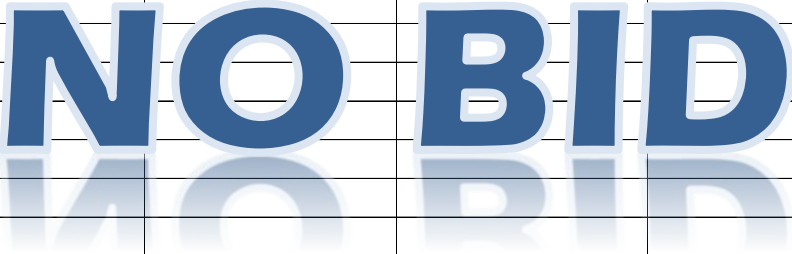
- [Shultz_Quote_Contract_Price.pdf](#)
- [DutchLindbergEquipPurchase.pdf](#)
- [Upland_Design_2019_Contract.pdf](#)
- [2019_02_28_Dutch_Schultz_Plans.pdf](#)
- [D_Shultz_Playground_ADA_Costs_2019.pdf](#)
- [DS_1.jpg](#)
- [DS_2.jpg](#)
- [DS_3.jpg](#)
- [DS_4.jpg](#)
- [DS_5.jpg](#)

Budget Table for ADA Related Expenses

[3c12c159-5be6-40da-92ea-328d433fff0d.xlsx](#)

ADA Dollars Requested	31871
-----------------------	--------------

Notes related to requested amount	The total cost for the project Playground purchase, installation, and all concrete work was \$101,234.42.
-----------------------------------	--

	A	B	C	D	E	F	G
1	 Palatine Park District				Palatine Park District		
2					2019 Replace Playgrounds and Shelter		
3					March, 18, 2019 - 10:30 a.m.		
4					Bid Tabulation Sheet		
5							
6	Company	Item 1: Doug Lindberg Playground	Item 2: Doug Lindberg Shelter	Item 3: Dutch Schultz Playground	Total Base Bid	Bid Bond	Cont. Cert.
7	Absolute Home Improvements	\$ 56,302.00	\$ 13,450.00	\$ 41,496.00	\$ 111,248.00	X	X
8	Clauss Brothers, Inc.	\$ 90,540.30	\$ 16,520.00	\$ 66,959.60	\$ 174,019.90	X	X
9	E. Hoffman, Inc.	\$ 69,916.50	\$ 24,100.00	\$ 49,821.00	\$ 143,837.50	X	X
10	GLI Services, Inc.	\$ 75,495.00	\$ 14,750.00	\$ 56,280.00	\$ 146,525.00	X	X
11	Hacienda Landscaping, Inc.	\$ 64,096.00	\$ 18,500.00	\$ 44,172.00	\$ 126,768.00	X	X
12	K&D Enterprise Landscape	\$ 132,762.00	\$ 18,140.00	\$ 112,548.00	\$ 263,450.00	X	X
13	The Kenneth Company	\$ 67,404.00	\$ 10,880.00	\$ 46,567.00	\$ 124,851.00	X	X
14	Bid Prime, Inc.						
15	Chicagoland Paving						
16	D & J Landscape, Inc.						
17	Mercer Technologies Firm						
18	Orbis Construction Company						
19	PATH Construction Central						
20	Team Reil, Inc.						
21							
22							

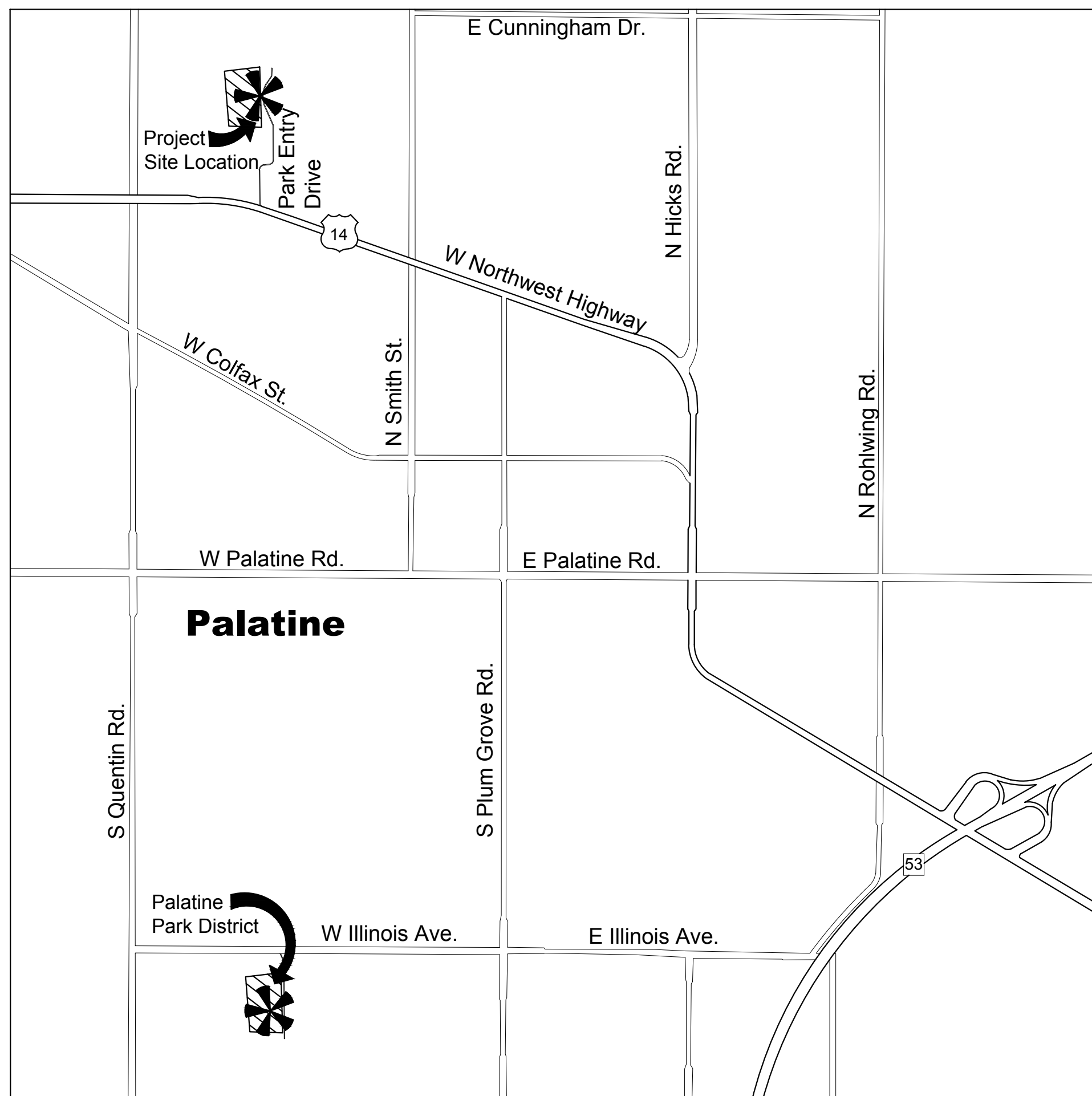
Dutch Schultz Playground Replacement

512 W. Northwest Highway, Palatine, Illinois 60067



Palatine Park District

250 E. Wood Street
Palatine, Illinois 60067



LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:



IL License 060-007797

SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan
- 3.0 Layout Plan
- 4.0 Dimension Plan
- 5.0 Grading, Restoration, and Utility Plan
- 6.0 Construction Details

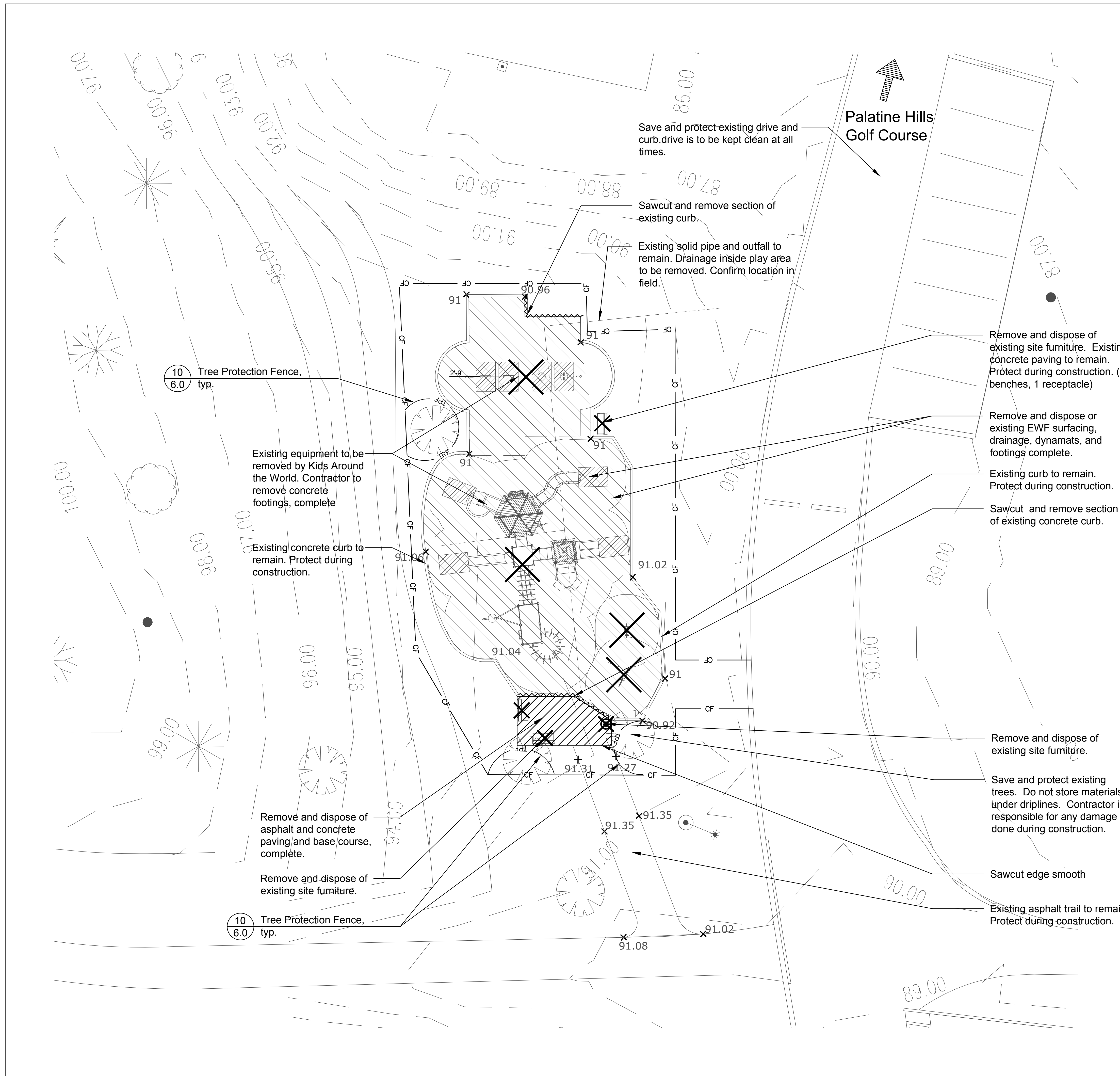


800.892.0123

This project has been prepared by and reviewed by Licensed Landscape Architects.
Michelle A. Kelly # 157.001002
Elizabeth A. Dafoe # 157.001572

SHEET NUMBER **1.0**



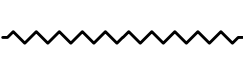

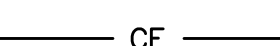

Dutch Schultz Playground Replacement
Project Number 667
March 04, 2019
Issue for Bid
Copyright 2019 Upland Design Ltd.
W:\Upland CAD System\1 Titleblocks\in-progress
PLOT: UPLAND 2018

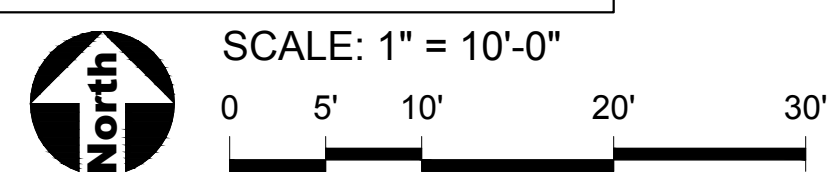


GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- A Topographic Survey was completed for the Palatine Park District. Verify information in field prior to proceeding with work.
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dieline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as delineated on plans and lawn areas to be saved wherever possible. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsail may be stockpiled for redistribution as needed. Excess topsail, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be free standing chainlink per plans. (incidental to contract).
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request and interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.

REMOVALS LEGEND

-  Remove and Dispose of Existing Play Surfacing and Underdrainage
-  Remove and Dispose of Existing Asphalt Paving
-  Remove and Dispose of Existing Fence
-  Remove and Dispose of Item as Marked
-  Construction Fence and Construction Limits
-  Tree Protection Fence



250 E. Wood Street
Palatine, Illinois 60074
Phone: 847-991-0333

PROJECT
**Dutch Schultz
Playground
Replacement**
512 W. Northwest Highway
Palatine, Illinois 60067

PROJECT TEAM



uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com

SHEET TITLE
**Existing
Conditions &
Removals Plan**

SHEET NUMBER **2.0**

DRAW / REVISION

LD/DW	Issue for Bid	04MAR2019

Project Number 667
Copyright 2019 Upland Design Ltd.
W:\667-Palatine 2019 Playgrounds\30-CD-files
PLOT UPLAND 2019



250 E. Wood Street
Palatine, Illinois 60074
Phone: 847-991-0333

PROJECT
**Dutch Schultz
Playground
Replacement**

512 W. Northwest Highway
Palatine, Illinois 60067

PROJECT TEAM



Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com



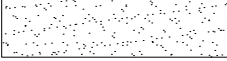

GENERAL NOTES: LAYOUT

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
3. No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
4. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
5. Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.

REFERENCED SPECIFICATIONS AND CODES

1. The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
2. The Americans with Disabilities Act and the Illinois Accessibility Code.
3. The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
4. U.S. Soil Conservation Service Field Engineering Handbook
5. All codes and ordinances of the City of Palatine, United States Army Corp of Engineers, Illinois Department of Natural Resources, County Soil and Water Conservation Districts, and all agencies having jurisdiction.
6. All requirements of the Occupational Safety and Health Administration.
7. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
8. In case of conflict, the more restrictive provision shall apply.

LEGEND

-  Concrete Paving
-  Concrete Curb at Playground
-  Engineered Wood Fiber Surfacing
-  Expansion Joint

SHEET TITLE

Layout Plan

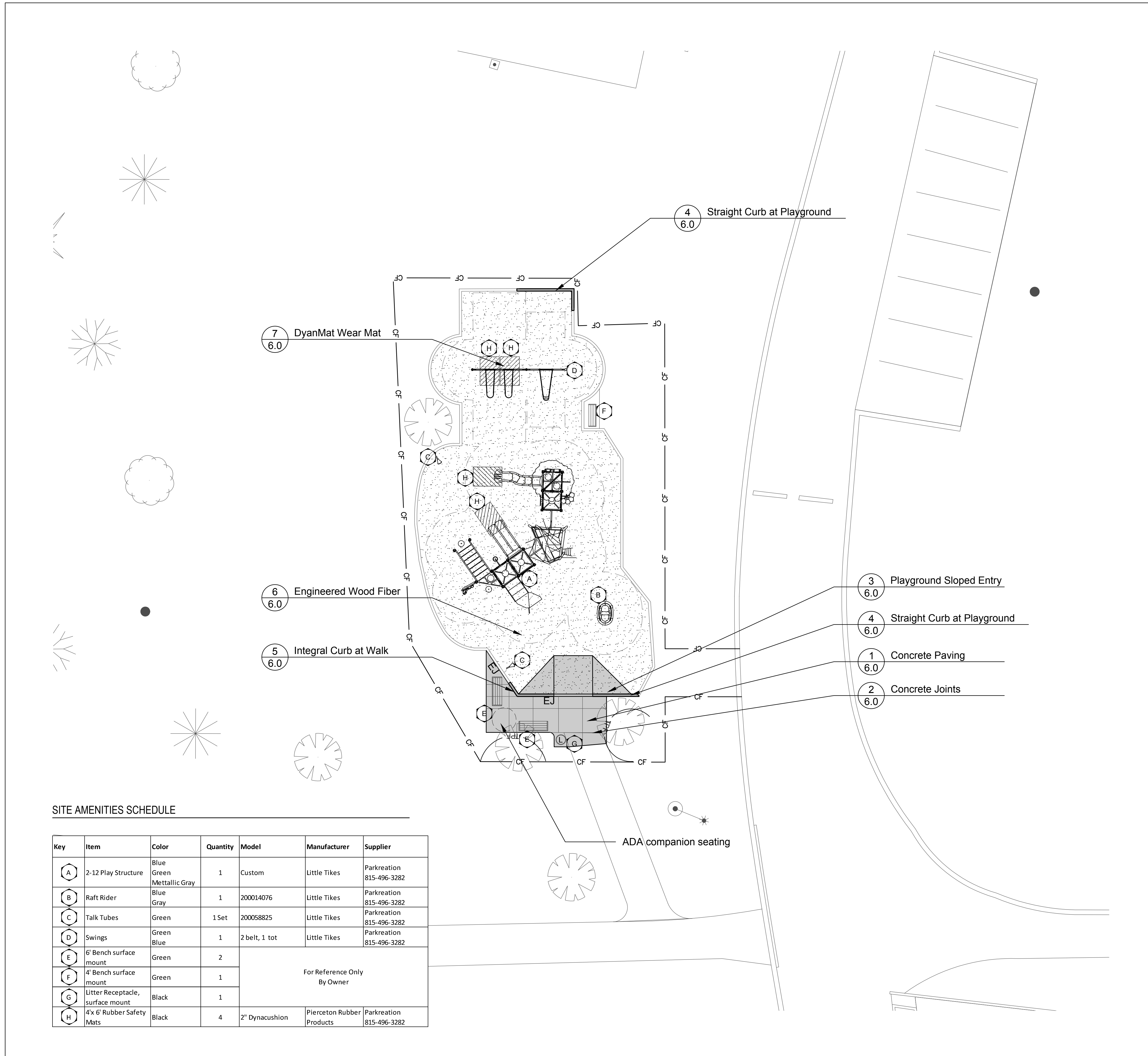
SHEET NUMBER

3.0

DRAW / REVISION

LD/DW	Issue for Bid	04MAR2019

Project Number 667
Copyright 2019 Upland Design Ltd.
W:\667-Palatine 2019 Playgrounds\30-CD-files
PLOT UPLAND 2019

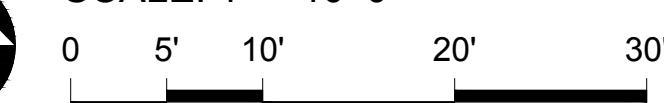


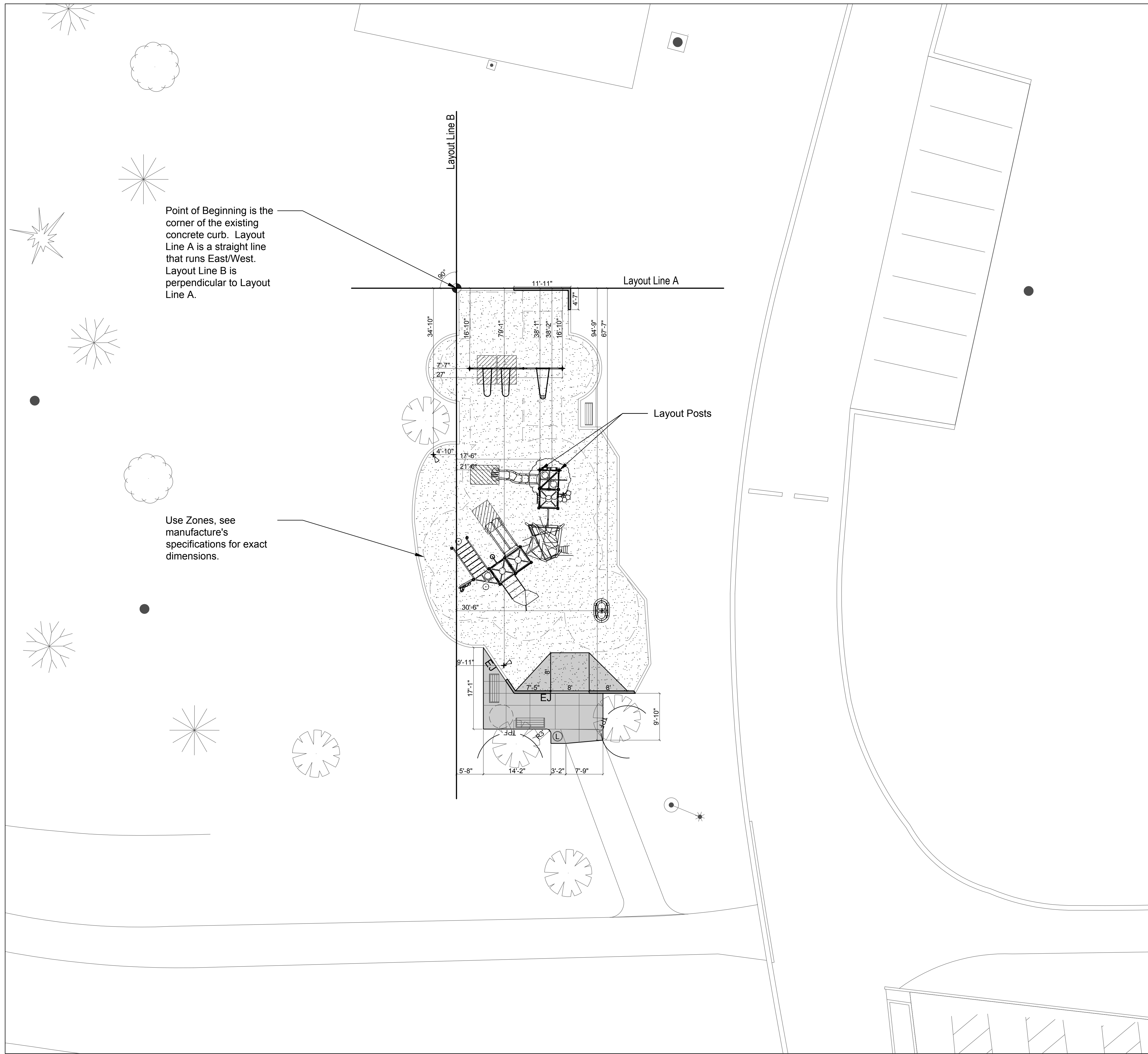
SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	2-12 Play Structure	Blue Green Metallic Gray	1	Custom	Little Tikes	Parkreation 815-496-3282
B	Raft Rider	Blue Gray	1	200014076	Little Tikes	Parkreation 815-496-3282
C	Talk Tubes	Green	1 Set	200058825	Little Tikes	Parkreation 815-496-3282
D	Swings	Green Blue	1	2 belt, 1 tot	Little Tikes	Parkreation 815-496-3282
E	6' Bench surface mount	Green	2	For Reference Only By Owner		
F	4' Bench surface mount	Green	1			
G	Litter Receptacle, surface mount	Black	1			
H	4'x 6' Rubber Safety Mats	Black	4	2" Dynacushion	Piercetron Rubber Products	Parkreation 815-496-3282



SCALE: 1" = 10'-0"





Point of Beginning is the corner of the existing concrete curb. Layout Line A is a straight line that runs East/West. Layout Line B is perpendicular to Layout Line A.

Use Zones, see manufacture's specifications for exact dimensions.

GENERAL NOTES: DIMENSION

1. Layout of equipment is to center of post.
2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
3. See Layout Plan, Sheet 3.0 for additional general notes and referenced specifications and codes.



250 E. Wood Street
Palatine, Illinois 60074
Phone: 847-991-0333




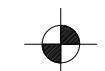
PROJECT
**Dutch Schultz
Playground
Replacement**
512 W. Northwest Highway
Palatine, Illinois 60067

PROJECT TEAM



uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com

LEGEND

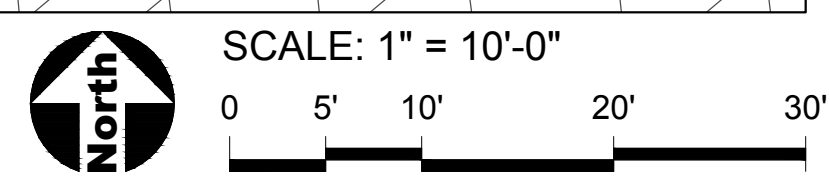
-  Concrete Paving
-  Concrete Curb at Playground
-  Engineered Wood Fiber Surfacing
- EJ** Expansion Joints
-  Point of Beginning

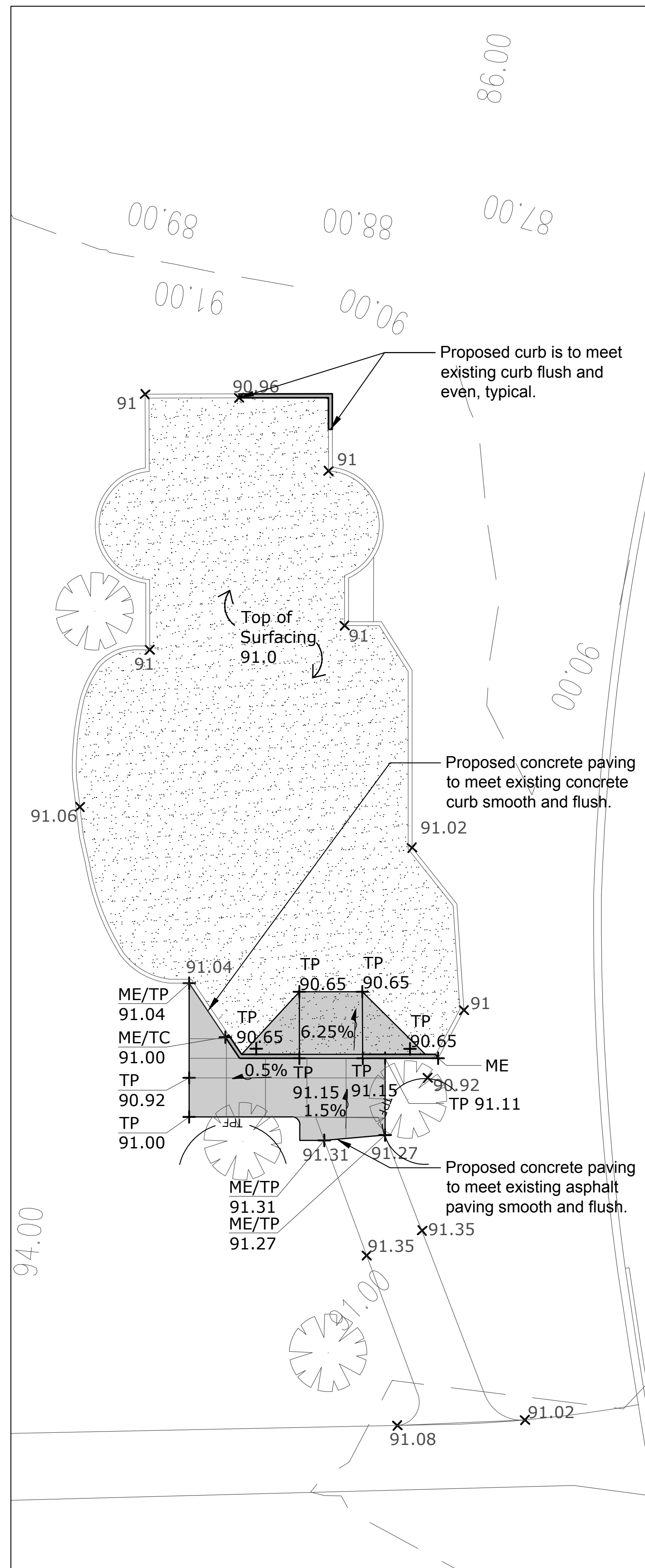
SHEET TITLE
**Dimension
Plan**

SHEET NUMBER **4.0**

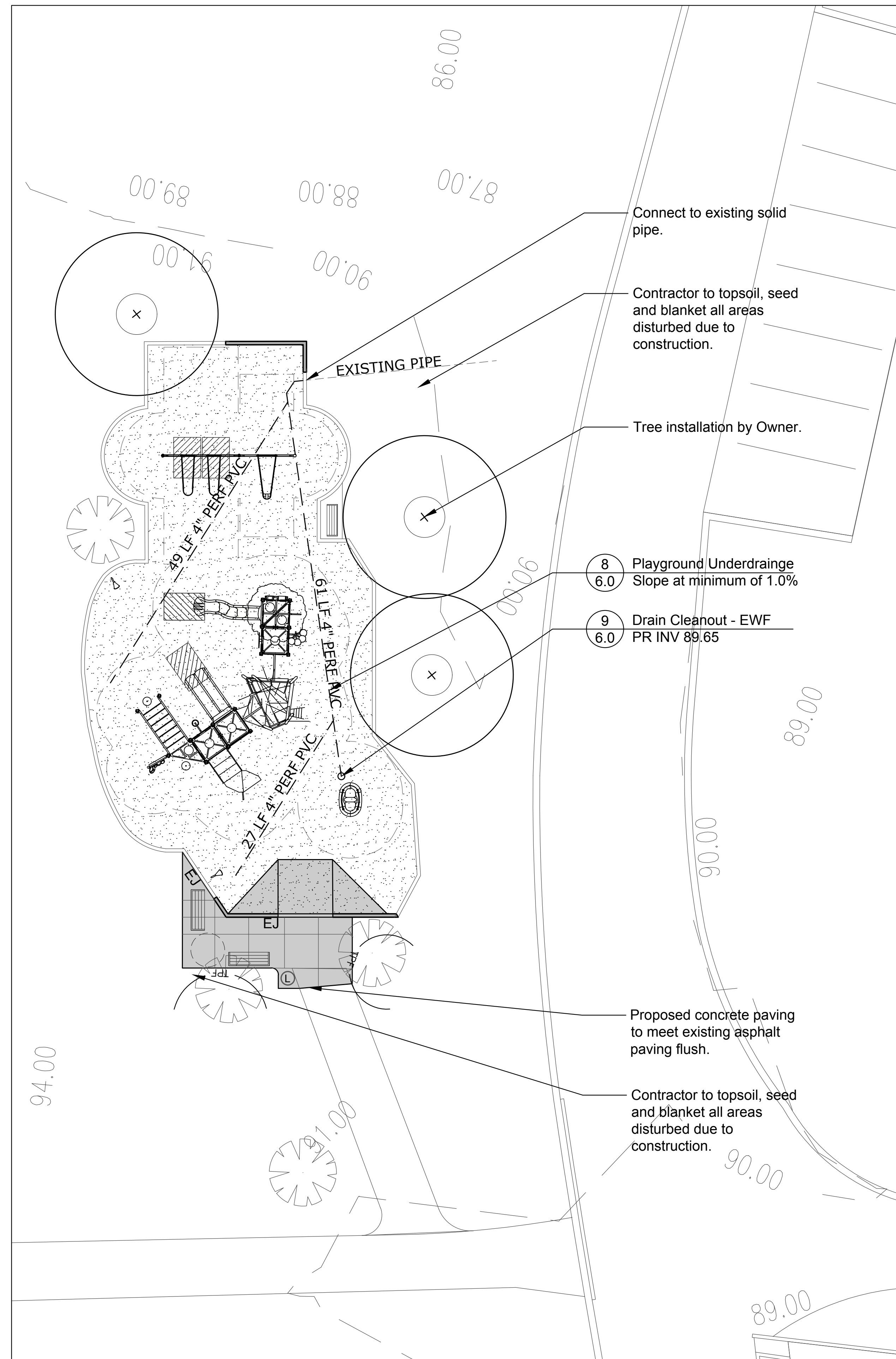
DRAW / REVISION

LD/DW	Issue for Bid	04MAR2019





Grading Plan



Utility & Restoration Plan

GENERAL NOTES: GRADING

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be 2% or less in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
8. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
9. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
10. Grades are provided by owner. Control point provided does not tie into regional datum but provided as a Point of Beginning for determining grades.

GENERAL NOTES: LANDSCAPE

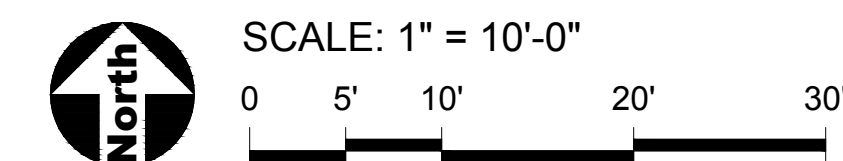
1. The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
2. All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
3. Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative. Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification.
5. Do not overseed into mulch beds and paving.
6. Contractor shall restore all areas disturbed as a result of construction. Where areas are compacted due to construction activity, Contractor to core aerate prior to seeding.

LEGEND

- Concrete Paving
- Concrete Curb at Playground
- Engineered Wood Fiber Surfacing
- EJ
- 681 Existing Contour Line
- 681 Proposed Contour Line
- + 91.02 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% Drainage Flow Direction

INDEX OF ACRONYMS AND ABBREVIATIONS

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Pavement (TP)
- Top of Wall (TW)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (INV)
- Top of Rim Elevation (RIM)



250 E. Wood Street
Palatine, Illinois 60074
Phone: 847-991-0333

PROJECT
Dutch Schultz
Playground
Replacement
512 W. Northwest Highway
Palatine, Illinois 60067

PROJECT TEAM

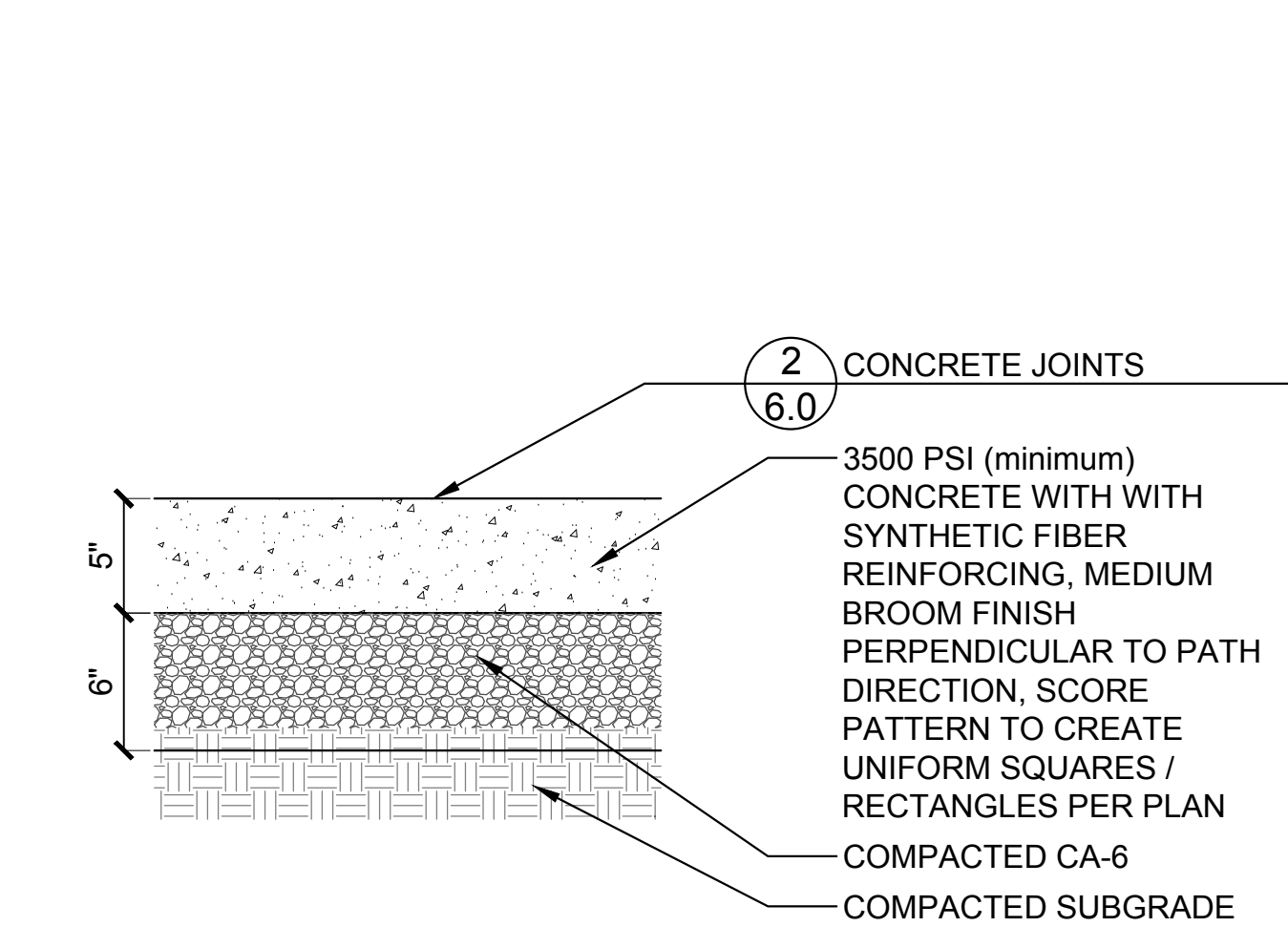


SHEET TITLE
Grading, Utility,
& Restoration
Plan

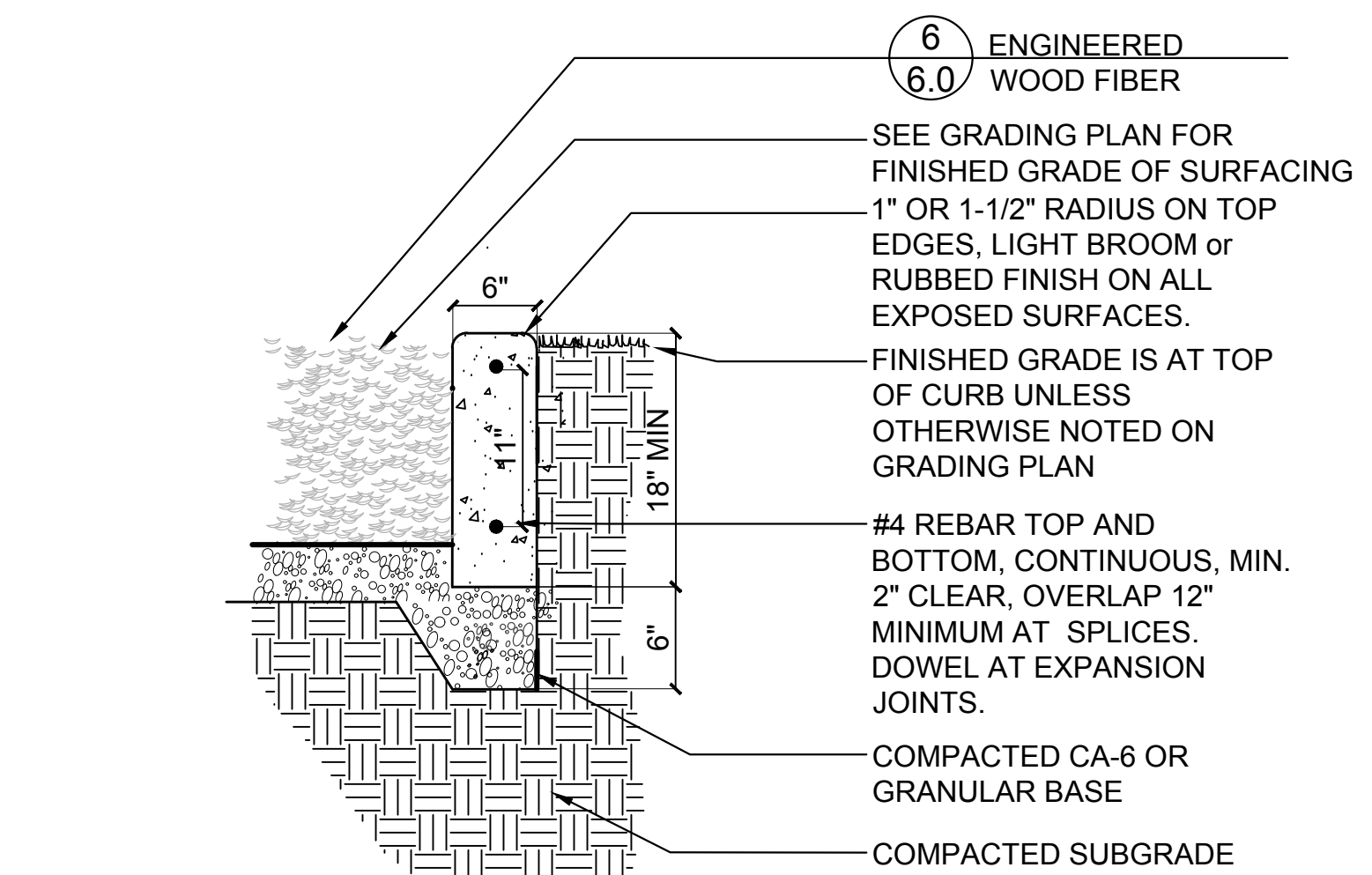
SHEET NUMBER 5.0

DRAW / REVISION

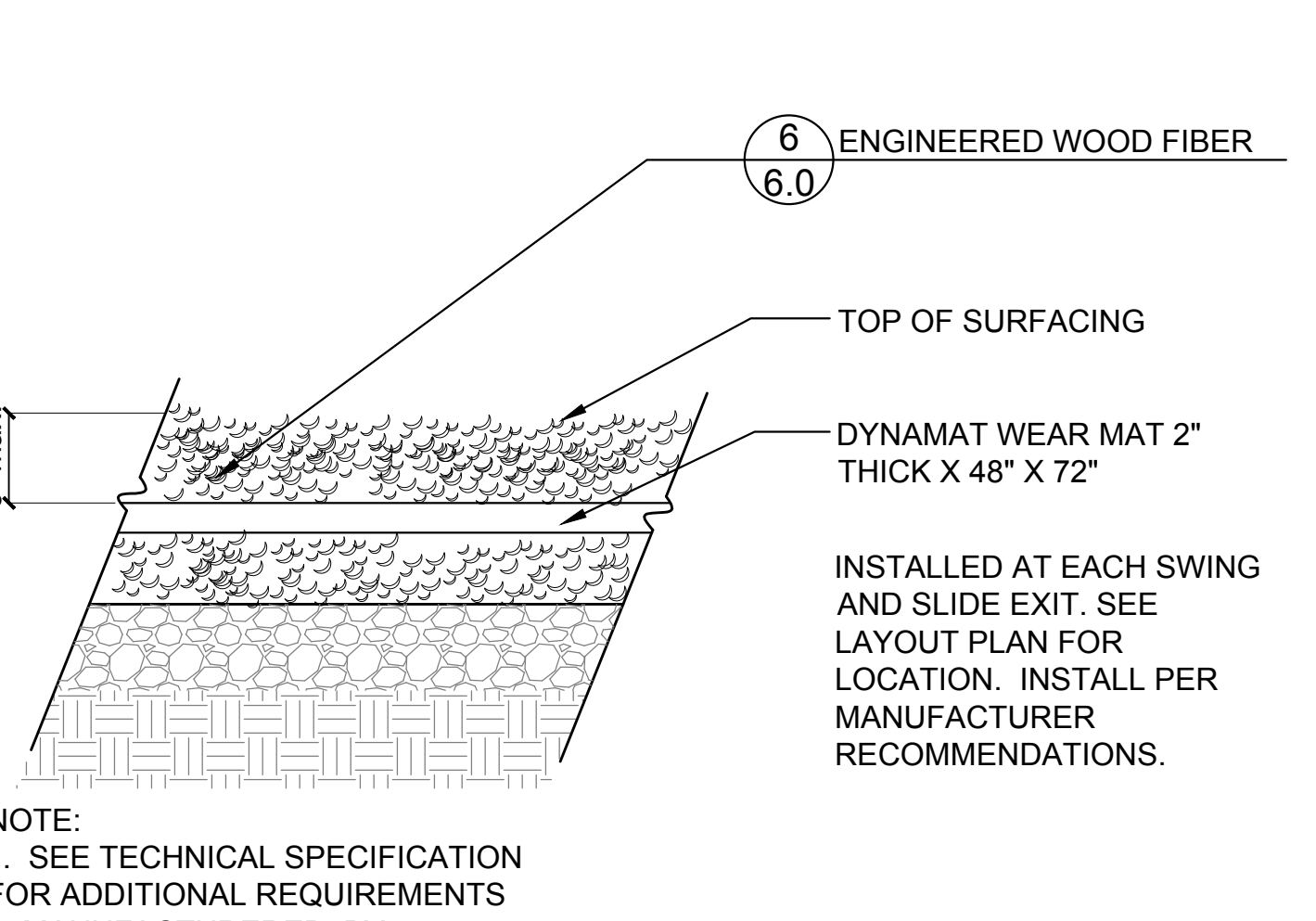
LD/DW	Issue for Bid	04MAR2019



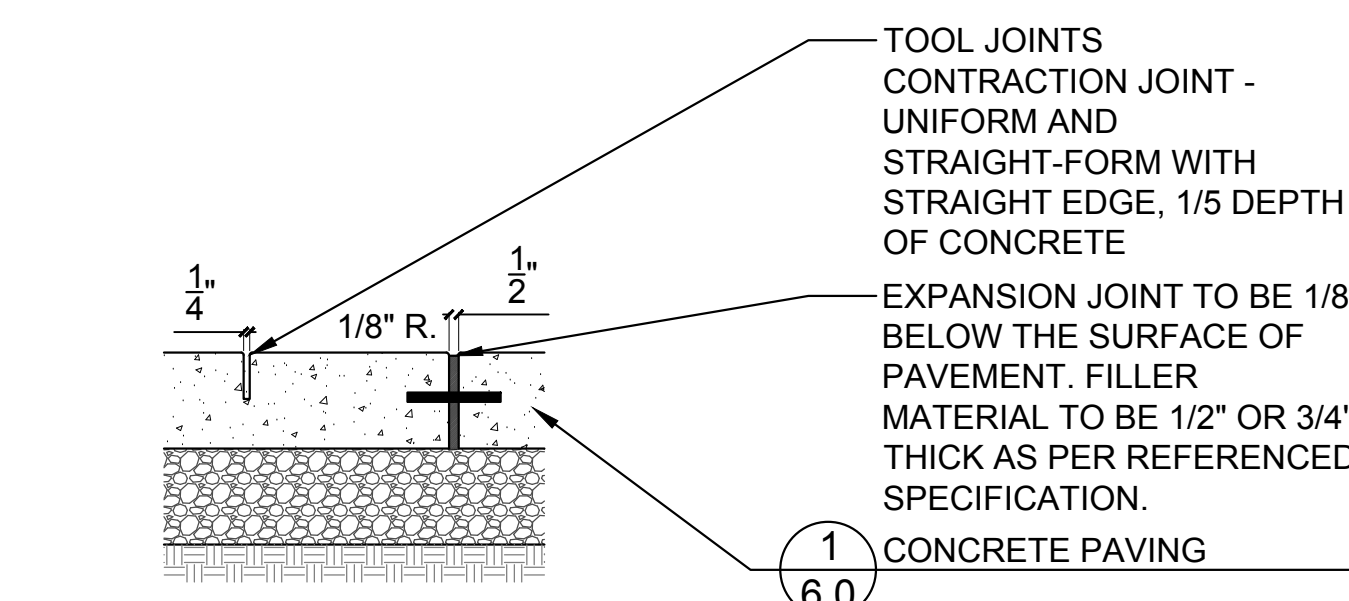
1 Concrete Paving
SCALE: 1 1/2" = 1'-0"
d-conc pav-5_8



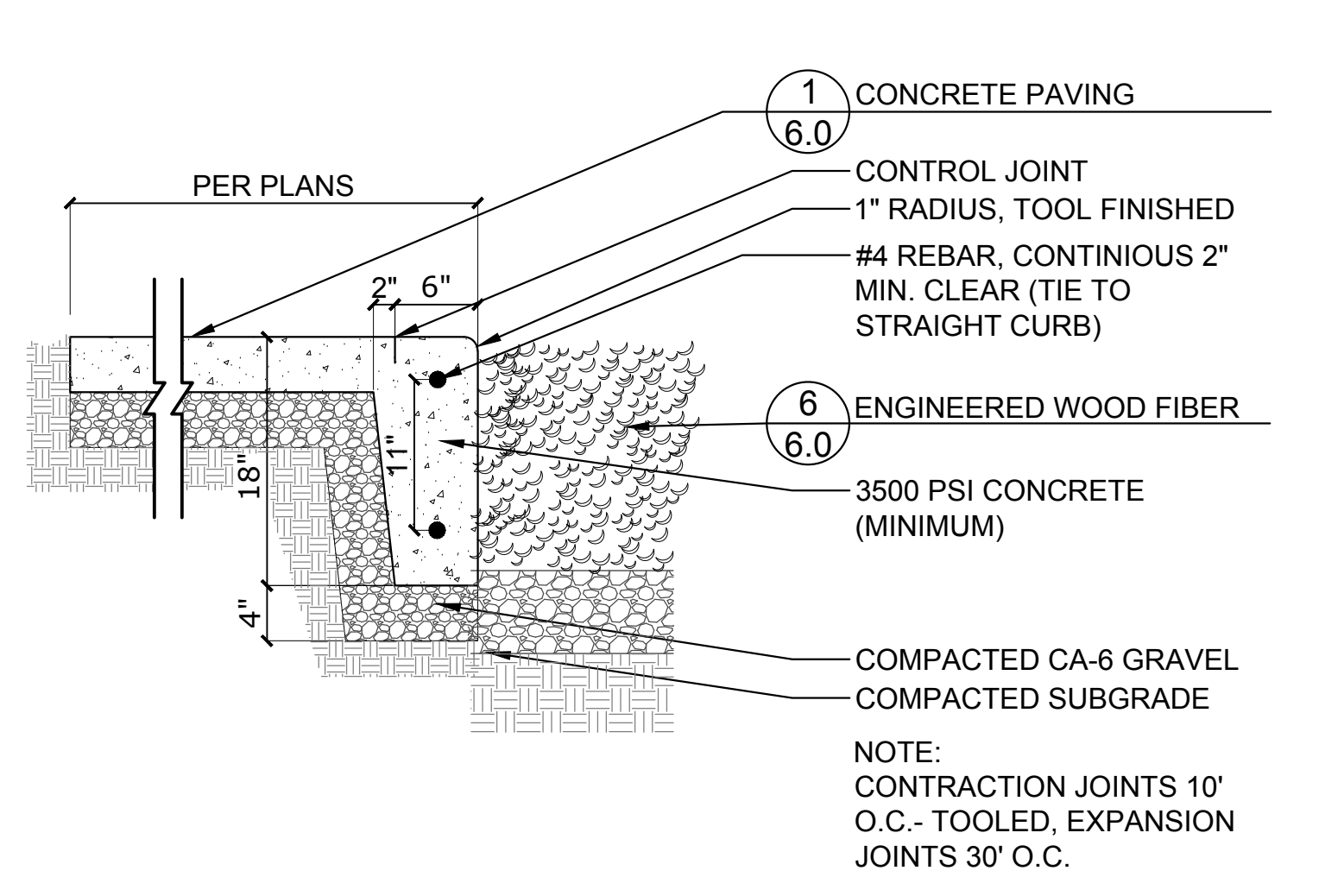
4 Straight Curb at Playground
SCALE: 1" = 1'-0"
det-straight curb play



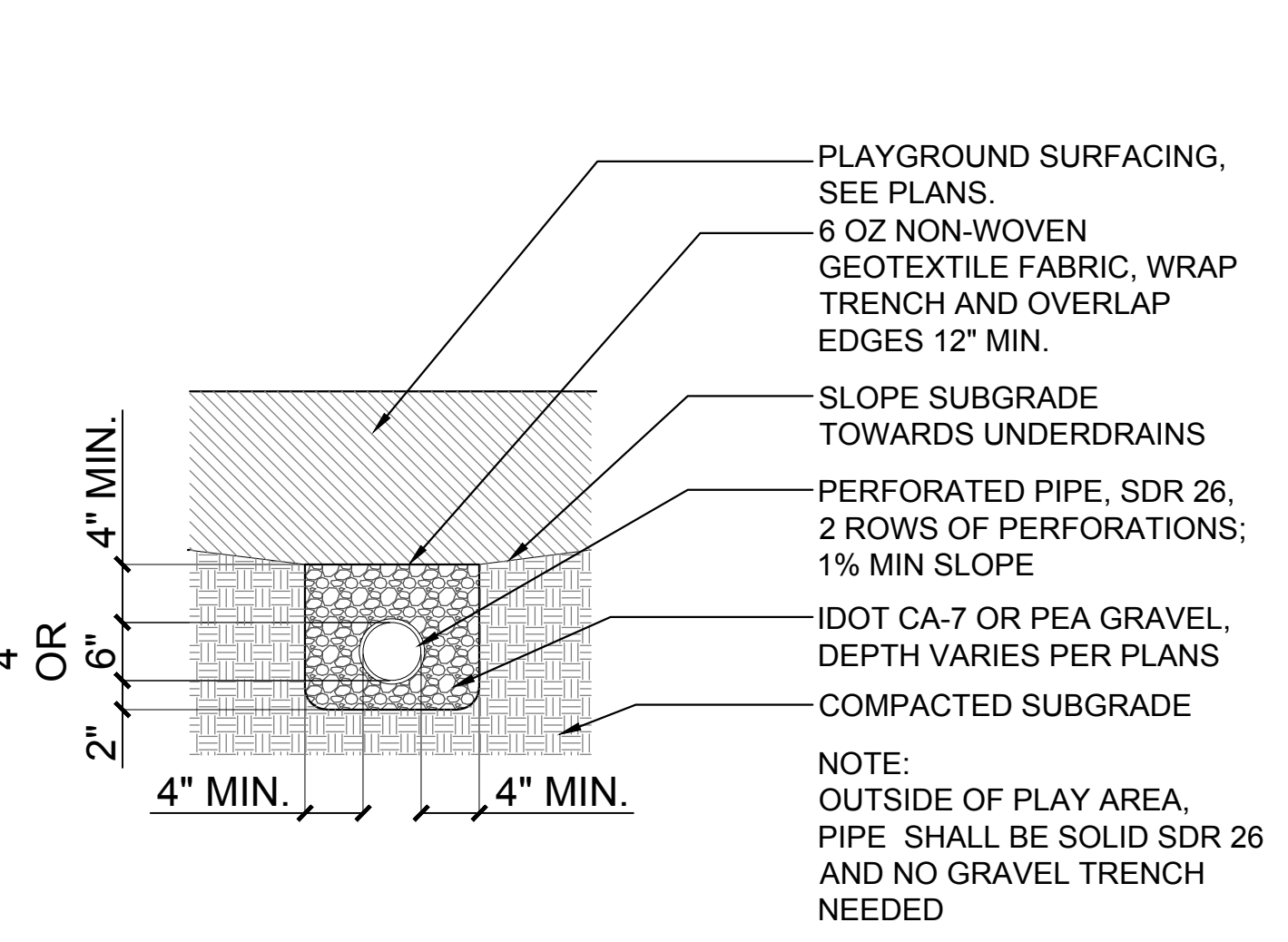
7 DynaMat Wear Mat
SCALE: 1" = 1'-0"
d-eng wood fiber_12



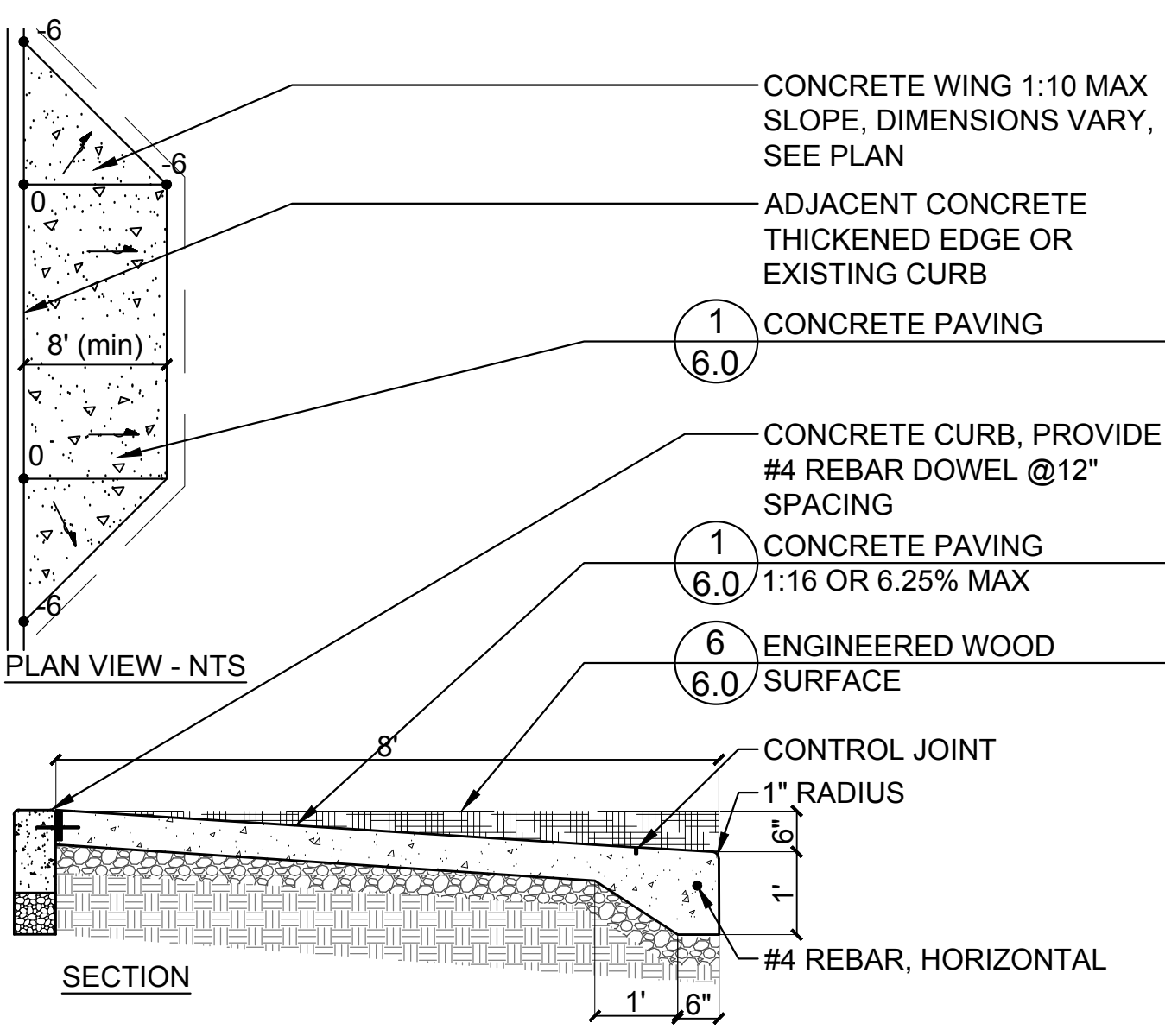
2 Concrete Joints
SCALE: 1 1/2" = 1'-0"
d-joints_8



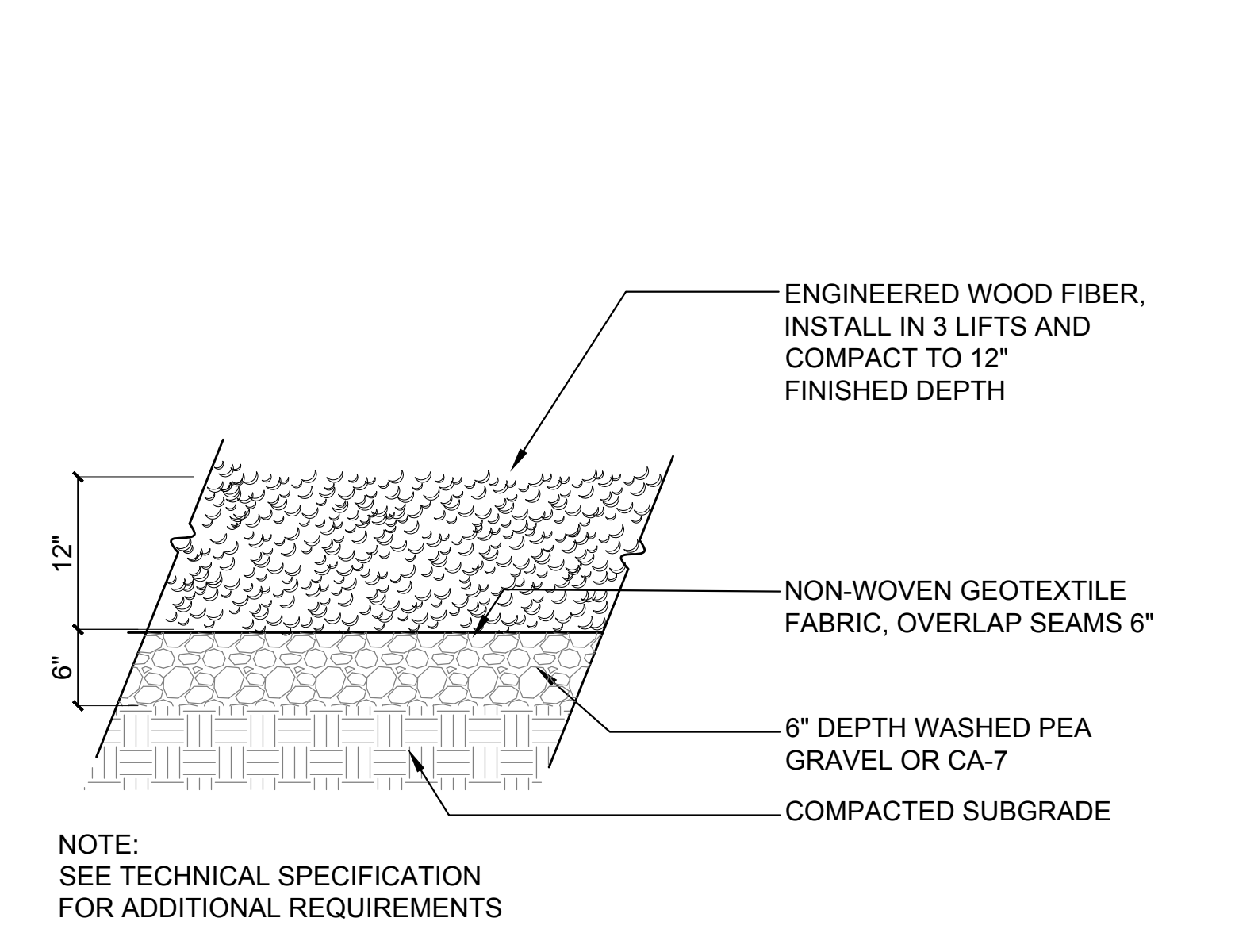
5 Integral Curb at Walk
SCALE: 1" = 1'-0"
d-curb-integral_12



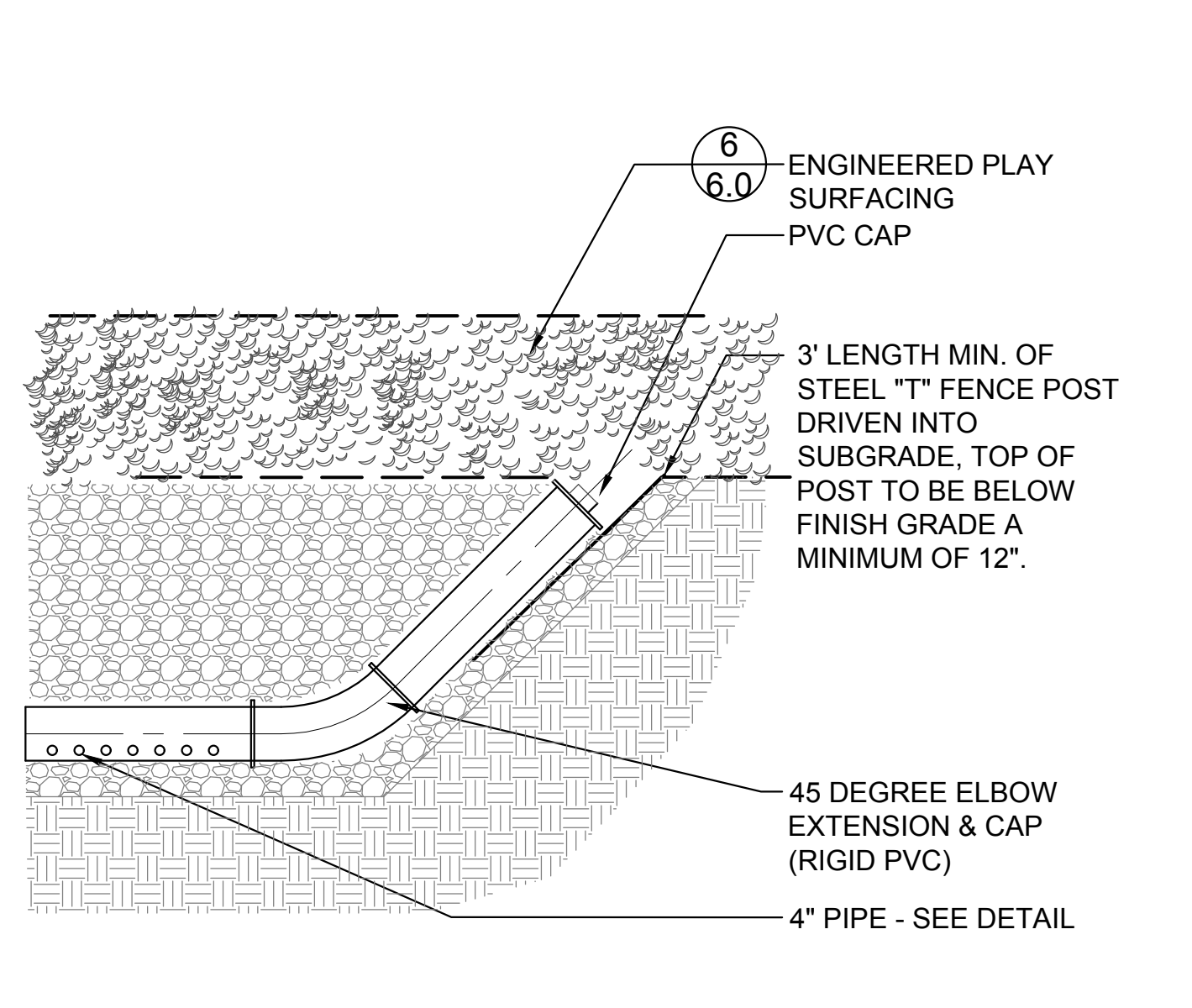
8 Playground Underdrainage
SCALE: 1" = 1'-0"
d-playground underdrainage_12



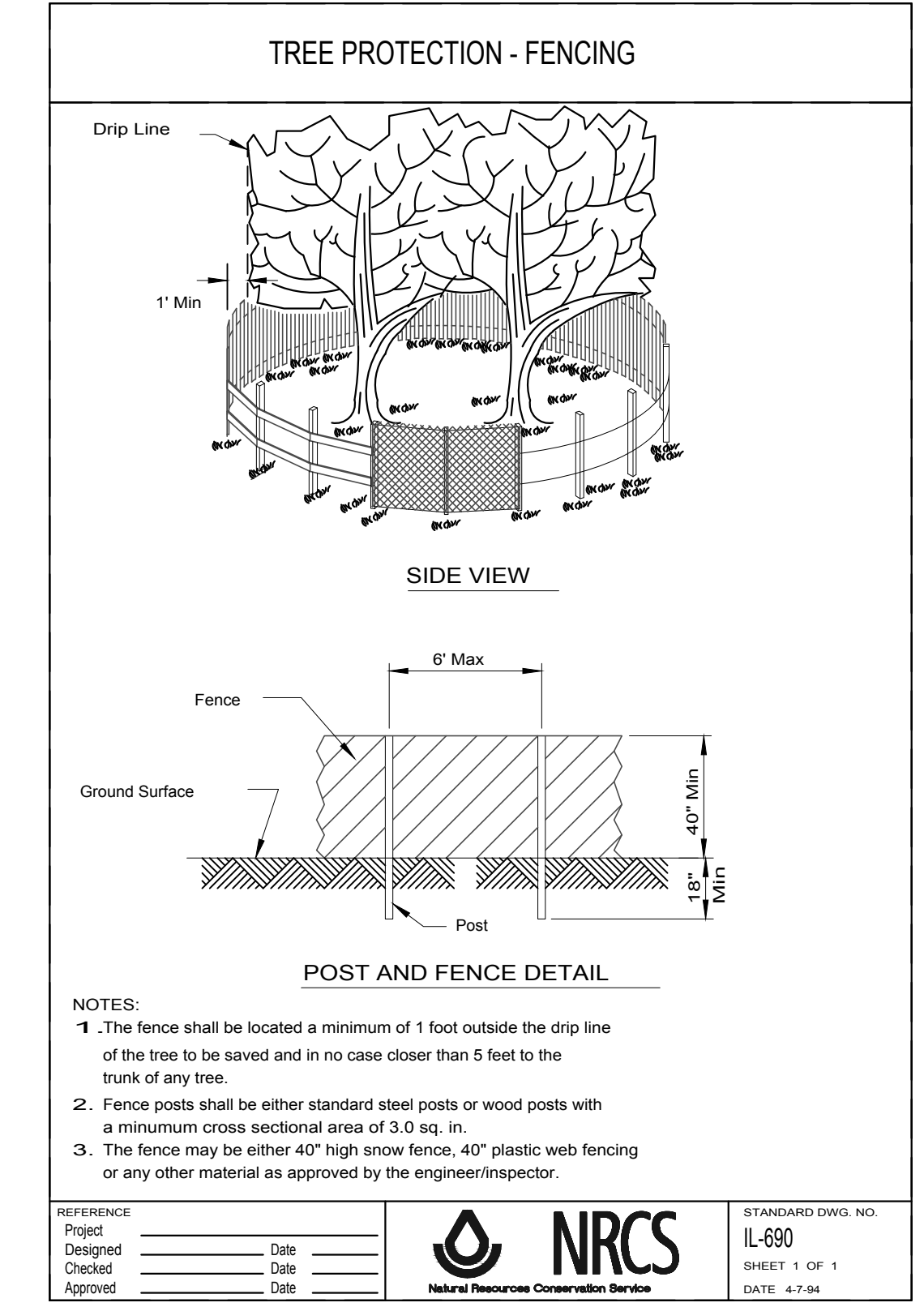
3 Playground Sloped Entry
SCALE: 1/2" = 1'-0"
d-conc-sloped entry_24



6 Engineered Wood Fiber
SCALE: 1" = 1'-0"
d-eng wood fiber_12



9 Drain Cleanout - EWF
SCALE: N.T.S.
d-drain cleanout-EWF_12



10 Tree Protection Fence
SCALE: NTS
d-NRCS-IL690-tree protection fence_12



250 E. Wood Street
Palatine, Illinois 60074
Phone: 847-991-0333

PROJECT
Dutch Schultz Playground Replacement
512 W. Northwest Highway
Palatine, Illinois 60067

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com

SHEET TITLE
Construction Details

SHEET NUMBER
6.0

DRAW / REVISION

LD/DW	Issue for Bid	04MAR2019



**Dutch Schultz - Playground Renovation
Palatine Park District
ADA Cost Review**

Prepared Date: 10/222019
Project #667

PROJECT COMPONENTS	QUANTITY	UNIT	COST	EXTENSION
REMOVALS and SITE PREPARATION				
Site Preparation and Grading - 20%	189	CY	\$ 42.00	\$ 1,587.60
Sawcut and Remove Asphalt	1	LS	\$ 1,000.00	\$ 1,000.00
NEW CONSTRUCTION				
Concrete Paving	249	SF	\$ 8.50	\$ 2,116.50
Concrete Sloped Playground Entry	116	SF	\$ 10.50	\$ 1,218.00
Engineered Wood Fiber Surfacing	2966	SF	\$ 3.50	\$ 10,381.00
Site Improvements ONLY SubTotal				\$ 16,303.10
PLAY EQUIPMENT				
Playground Equipment Purchase - 20%	1	EA	\$ 11,120.00	\$ 11,120.00
Playground Equipment Install-20%	1	EA	\$ 4,448.00	\$ 4,448.00
Play Equipment ONLY SubTotal				\$ 15,568.00
Total ADA Estimate				\$ 31,871.10



PlayPower LT Farmington, Inc.
 878 E. US Hwy 60
 Monett, MO 65708
 1-800-325-8828

For PlayPower Internal Use Only
 ORDER: R0309190008
 PROJECT: Dutch Schultz Park

PlayArea_1

Product line: KidBuilders
 Age group: 5-12

Components

Part Number	Description	Qty	Weight	Volume	List Price	Total
100001127	KB LONG DK/DK PLATE 205MM/8"	1	25.00	0.38	158.00	158.00
100001134	KB DK/DK PLATE 203 MM/8"	2	16.00	0.22	153.00	306.00
200006976	SLIDE DBL.WD. 1220 MM/48" KB	1	164.00	70.00	1,322.00	1,322.00
200006993	KB SLIDE POLE 1625 MM/64"	1	63.00	15.00	792.00	792.00
200007018	PANEL LADDER 610/MM 24" W/SAFETY LOOP K	1	86.00	8.00	891.00	891.00
200008193	TOOL BOX KID BUILDERS #2, S.S. (MM)	1	3.00	0.36	0.00	0.00
200013798	KB 136" GALV POST WITH CAP	7	59.00	3.00	339.00	2,373.00
200013810	KB 148" GALV POST WITH CAP	2	64.00	3.00	362.00	724.00
200013813	KB 4165/164" GALV POST WITH CAP	4	71.00	4.00	402.00	1,608.00
200013881	LADDER TRAPEZE 2440 MM KB	1	116.00	17.00	1,811.00	1,811.00
200069056	KB 186"/4725MM GALV POST W/CAP	4	81.00	4.00	452.00	1,808.00
200092591	STEPPING STONES F/KB	2	42.00	7.00	277.00	554.00
200109865	KBP SAFETY RAIL DKMT	1	50.00	6.00	483.00	483.00
200200266	CLIMBER CURLY 1220MM/48" KB (2004)	1	68.00	36.00	898.00	898.00
200200530	KIT MAINTENANCE KB W/PAINT W/O LIST	1	10.00	1.00	0.00	0.00
200201815	KB BONGO PANEL LFT.MT. 2-5	1	65.00	10.00	1,303.00	1,303.00
200202380	KB LEAF ROOF	1	200.00	140.00	1,734.00	1,734.00
200202456	KB PANEL FLT.TP."THEATER" TAN/RED	1	42.00	2.00	902.00	902.00
200202483	KB DECK SQUARE LARGE HOLE 11GA	3	116.00	10.00	1,021.00	3,063.00
200202488	KB DECK 1/2 SQUARE LARGE HOLE 11GA	3	66.00	8.00	626.00	1,878.00
200202562	KB TRANS STAT 1220 SFTY RL 11GA	1	378.00	31.00	3,195.00	3,195.00
200202740	NU-EDGE LOG SLICE CLIMB 1420MM(56") F/KB	1	135.00	7.00	2,583.00	2,583.00
200203267	KB 72" QUANTUM II SLIDE	1	185.00	36.00	3,822.00	3,822.00
200203426	NUEDGE-X LUMBERJACK CLIMB 72" F/KB	1	425.00	30.00	3,486.00	3,486.00
200203458	KB TRAIL CLIMBER 56"	1	150.00	98.00	1,166.00	1,166.00
200203468	NU-EDGE CLUBHOUSE F/KB	1	1,500.00	110.00	23,492.00	23,492.00

0

PlayArea_2

Product line: Traditional Play
 Age group: 2-5

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
200058825	TALK TUBE FREE STANDING	1	155.00	2.00	934.00	934.00
200200417	SWING FRAME ADD-ON F/INCL SEAT MAXPLAY	1	130.00	8.00	898.00	898.00
200202202	MAXPLAY 8' STANDARD BEAM	1	220.00	11.00	1,263.00	1,263.00
200202828	RAFT RIDER	1	130.00	12.00	3,171.00	3,171.00
200202835	ASSY BELT SEAT F/8' SWING W/CHAIN	2	18.00	0.50	119.00	238.00
200202836	ASSY TOT SEAT F/8' SWING W/CHAIN	1	21.00	1.00	208.00	208.00

Biba_Included

Product line: Park Service

Age group:

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
9991Z	BIBA ENTRY SIGN	1	45.00	3.50	0.00	0.00
9992Z	BIBA POST MARKERS	1	10.00	1.00	0.00	0.00

RiskSign_Included

Product line: Park Service

Age group:

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
787Z	RISK MANAGEMENT SIGN - ENGLISH	1	0.00	0.00	0.00	0.00

Additional Items

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
116022	LABEL WARNING - PLAYGROUND - ENGLISH	3	0.00	0.00	1.00	3.00
200104307	LABEL AGE APP. (5 TO 12 YRS.)	3	0.00	0.00	3.00	9.00
200111492	LABEL, IDENTIFICATION STAMPED W/RIVETS	3	0.00	0.00	0.00	0.00
200111492	LABEL, IDENTIFICATION STAMPED W/RIVETS	4	0.00	0.00	0.00	0.00
200305596	14' MED CRATE (ASSY DOMESTIC)	2	277.00	0.00	0.00	0.00
200305597	14' LARGE CRATE (ASSY DOMESTIC)	3	385.00	0.00	0.00	0.00

Totals:

Total Weight:	7,932.00 lbs
Total Volume:	784.68 ft ³
List Price:	\$67,076.00
Contract Discount ID# 95423:	(\$11,402.92)
Products Subtotal:	\$55,673.08
Installation:	\$0.00
Freight:	\$0.00
Products by Other:	\$0.00
Grand Total:	\$55,673.08

**CONTRACT
BETWEEN OWNER and FIRM
FOR LANDSCAPE ARCHITECTURAL SERVICES
FOR PALATINE 2019 PLAYGROUND RENOVATIONS**

Palatine Park District
148 W. Illinois Avenue
Palatine, IL 60067
Phone: 847.991.0333..... The Owner

And

Upland Design Ltd.
24042 Lockport St., Suite 200
Plainfield, IL 60544
Phone: 815.254.0091..... The Firm

Owner and Firm agree as set forth below:

1. Firm's Basic Services

The Firm agrees to provide its professional services in accordance with generally accepted standards of its profession. The Firm agrees to put forth-reasonable efforts to comply with codes, laws and regulations in effect as of the date of this contract. **See Attachment A for Project Scope of Services.**

2. Excluded Services

The Firm and sub-consultants will not be responsible for the following: Hydrologic/hydraulic modeling the floodplain/floodway, wetland mitigation, archeological services, environmental testing, subsurface conditions and material testing, boundary survey, topographic survey, soil borings, construction layout; construction scheduling; construction work; work-site safety, labor negotiations, permit fees or court appearances as part of these services.

Hazardous Materials: The scope of the Firm's services for this Agreement does not include any responsibility for detection, remediation, accidental release, or services relating to waste, oil, asbestos, lead, or other hazardous materials, as defined by Federal, State, and local laws or regulations.

3. Construction Phase Services

If Firm performs any services during the construction phase of the project, Firm and sub-consultants shall not supervise, direct, or have control over Contractor's work. The Firm and sub-consultants shall not have authority over or responsibility for the construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the work of the Contractor. The Firm does not guarantee the performance of the construction contract by the Contractor and do not assume responsibility for the Contractor's failure to furnish and perform its work in accordance with the Contract Documents.

4. Firm's Insurance

The Contract documents shall include Firm's Proof of Insurance with Owner listed as certificate holder.

5. Owner Responsibilities

The Owner has designated Ed Tynczuk, Superintendent of Parks, as the contact person(s) for this project. The Firm will direct correspondence and information to the contact person. The Owner will provide pertinent information to the Firm in a timely manner so as not to hinder or delay the Firm performing their work in a timely and cost effective manner throughout the project.

The Owner agrees to provide Firm with existing base information for the site and will assist the Firm with obtaining other information as requested. The Firm will rely on this information, without liability, on the accuracy and completeness of information provided by the Owner. The Owner agrees to advise Firm of any known or suspected contaminants at the Project Site and the Owner shall be solely responsible for all subsurface soil conditions.

Right of Entry: When entry to property is required for the Firm and/or sub-consultant to perform its services, the Owner agrees to obtain legal right-of-entry on the property.

6. Project Schedule

The Firm shall render its services as expeditiously as is consistent with professional skill and care. During the course of the Project, anticipated and unanticipated events may impact any Project schedule. The Firm will attempt to make the Owner aware of events that will impact the Project schedule.

7. Compensation and Payments

The Owner shall pay to the firm the following lump sum not to exceed prices for the work described herein.

In accordance with the described services above, the following lump sum fee would be paid to Upland Design Ltd. Invoices will be structured to reflect completed work.

Summer 2018

Concept Planning and Cost Estimates:
Palatine Hills Planning: \$4,000

Fall 2018 to Spring of 2019

Construction Documents, Bidding and Construction Administration	
Lindberg	\$ 6,880
Palatine Hills	\$ 6,880
Total	\$14,060

Reimbursable Items: Reimbursable items include the cost of printing plans, preparing discs (if necessary) and mileage at current IRS rates.

Optional Services:

Additional meetings can be scheduled by the District at the costs below:

Staff Meetings	\$ 544
Site Visits	\$ 584
Public Meetings	\$ 786
Color Renderings	\$ 550

2018 Rate Sheet Hourly Billing Rates:

Principal Landscape Architect	\$150
Assistant Landscape Architect	\$130
Landscape Designer	\$ 115

Firm shall submit request(s) for payment to the Owner. Payment requests shall be made monthly for that portion of the project that has been completed. The Owner agrees to make the requested payment within 30 days of submission of each payment request.

Additional Information:

- a) At the request of the Owner, additional meetings or work may be added at the professional service rates listed herein.
- b) No additional work shall be added to the contract without authorization from the Owner.

8. Suspension or Termination of Services

If the Owner in good faith determines that the Firm prosecutes or fails to prosecute its work in such manner as to hinder or delay the completion of the project, the Owner may serve written notice to the Firm setting forth any complaint about Firm's performance of its work. The Firm shall have seven (7) days from receipt of such written notice in which to take corrective action. If the Firm fails to take appropriate corrective action within said seven (7) day period, the Owner may exercise the following remedies:

- a. Terminate the Firm's services by a written notice effective on the date such written notice is served on the Firm; and,

- b. Order the remaining necessary work be done by another Firm, if desired.
- c. If the Owner in good faith exercises the above remedies, Owner shall be responsible to pay the Firm only for the work performed prior to termination of the contract. The above remedies shall be Owner's sole and exclusive remedies in the event the Owner terminates the Firm's services under this provision.
- d. The Firm may terminate this Contract upon seven days written notice. If terminated, Owner agrees to pay the Firm for all Basic and Additional Services rendered and Reimbursable Expenses incurred up to the date of termination. Upon not less than seven days' written notice, Landscape Architect may suspend the performance of its services if Owner fails to pay the Firm in full for services rendered or expenses incurred. The Firm shall have no liability because of such suspension of service or termination due to nonpayment.

9. Indemnification

The Firm agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Owner up to the amount of this contract fee for services from loss and expense, including reasonable attorneys' fees, to the extent caused by Firm's negligent acts, errors or omissions in the performance of the work under this Contract. Firm shall not be liable for special, incidental or consequential damages, including, but not limited to loss of profits, revenue, use of capital, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reason of the work done under this Contract. The Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Firm from any damage, liability or cost, including reasonable attorneys' fees and costs of defense arising from this project, to the extent caused by the Owner's negligent acts, errors or omissions and those of its other Firms, sub-consultants or consultants (whether or not the Owner is legally liable for them) or anyone for whom the Owner is legally liable. In the event of joint or concurrent negligence, Firm shall bear only that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of the third parties) which caused the personal injury or damage.

10. Limitation of Liability

In any event, in recognition of the relative risks and benefits of the project, the Owner and the Firm have allocated the risks such that the Owner agrees that to the fullest extent permitted by law, the Firm's total aggregate liability to the Owner for any and all injuries, claims, costs, losses, expenses, damages of any nature whatsoever or claim expenses arising out of this Contract from any cause or causes, including attorney's fees and costs, and expert witness fees and costs, shall not exceed the total Firm's fee for the work rendered on this project.

11. Dispute Resolution

Owner and Firm agree to mediate claims or disputes arising out of or relating to this Agreement as a condition precedent to litigation. The mediation shall be conducted by an agreed upon mediation service acceptable to the parties. A demand for mediation shall be made within a reasonable time after a claim or dispute arises and the parties agree to participate in mediation in good faith. Mediation fees shall be shared equally. In no event shall any demand for mediation be made after such claim or dispute would be barred by the applicable law.

12. Ownership of Documents

Copies of the final bid documents may be retained by the Owner at the completion of the project for their records in both print and digital PDF versions. All instruments of professional service prepared by the Firm, including, but not limited to, drawings and specifications, are the property of the Firm, and these documents shall not be reused on other projects without Firm's written permission. Any reuse or distribution to third parties without such express written permission or project-specific adaptation by the Firm will be at the Owner's sole risk and without liability to the Firm or its employees, and subcontractors. Owner shall, to the fullest extent permitted by law, defend, indemnify, and hold harmless Owner from and against any and all costs, expenses, fees, losses, claims, demands, liabilities, suits, actions, and damages whatsoever arising out of or resulting from such unauthorized reuse or distribution.

The Firm reserves the right to include representations of the Project in its promotional and professional materials.

13. Governing Law

This Agreement is governed by the laws of the State of Illinois.

14. Entire Agreement and Severability

This Agreement is the entire and integrated agreement between Owner and the Firm and supersedes all prior negotiations, statements or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Firm. In the event that any term or provision of this agreement is found to be void, invalid or unenforceable for any reason, that term or provision shall be deemed to be stricken from this agreement, and the balance of this agreement shall survive and remain enforceable.

15. No Assignment

Neither party can assign this Agreement without the other party's written permission.

16. Expiration of Proposal


If this agreement is not accepted within 120 days, the offer to perform the described services is withdrawn and shall be null and void.

IN WITNESS WHEREOF, the parties hereto have executed this agreement this ____ day of _____, 2018.

Palatine Park District
148 W. Illinois Avenue
Palatine, IL 60067

Upland Design Ltd.
24042 Lockport St., Suite 200
Plainfield, IL 60544

Sign:  _____

Sign:  _____

By: Edmund Traczewski
Supt. of Park

By: Michelle A. Kelly, President
Upland Design Ltd

**ATTACHMENT A
SCOPE OF SERVICES**

PALATINE PARK DISTRICT

2019 Park Improvements

Project Overview: Palatine Park District is considering renovation for two playground sites in 2019. To budget capital dollars for next year, concept planning and cost estimates are required in 2018. Construction documents would then be completed in the fall for the projects and bid out in the winter of 2018-2019 for spring 2019 construction. The sites include Palatine Hills Playground and Lindberg Park Playground.

Project components include improving ADA access to each playground, replacing play equipment, installing all new surfacing as well as drainage. Site furniture will be specified for each site, but the Park District staff will order and install the furniture.

Project Scope

Phase I: Concept Planning and Cost Estimates

July- August, 2018

Base Plan and Survey: The Park District has provided a topographic survey in AutoCAD format for use as a base and the site was measured for accuracy. Additional spot grades will be completed by the Park District and shared with Upland Design.

Site visit: Upland Design staff has visited the sites with the Park District staff. Photos were taken for in office reference.

Play Equipment Design and Review Meeting: Upland Design will work with local Little Tikes equipment representatives to design three options for Palatine Hills. These will be presented to the Park District staff at a meeting. The goal will be to pick one or a combination of plans for each site.

Concept Plan: Upland Design will prepare a concept plan and cost estimate for the new equipment layout for each park. Site elements will include the following improvements:

- Playground equipment layout with safety zones
- Concrete curb adjustments as necessary
- Playground underdrainage design and outlet
- Engineered wood fiber surfacing and rubber mats at swings
- Concrete entry ramps to meet ADA
- Removal of asphalt at playground entry for ADA access
- Lawn establishment at disturbed areas

A cost estimate will be prepared which reflects current public bid pricing. The black and white plans will be to scale with images of proposed furniture.

Review Meeting: The concept plans and cost estimates will be reviewed with Park District staff. Based on the staff input, Upland Design will revise the designs and cost estimates to move into construction documents. A color rendering will be prepared for each site to be used for presentation or on the District website. (1 meeting + revisions)

Public Input: Upland will prepare ideas images for an online public survey of equipment for Palatine Hills. Digital files will be shared and Park District staff will coordinate online survey.

Construction Document Preparation

Upland Design will prepare details, specifications and scaled plans for the park improvements based on the approved plan as one package. Plans will address:

- Existing Conditions and Removals
- Layout and Dimensioning
- Equipment List
- Landscaping and Lawn Restoration
- Grading and Erosion Control
- Construction Details

Technical specifications will be prepared to cover each area of construction and a detailed bid proposal form will be developed. The Park District will prepare and provide the general front end specifications. A review meeting with Palatine Park District staff will take place at 85% document completion. The cost estimate will be updated and reviewed for this meeting.
(1 meeting)

Comments from the review meeting will be incorporated into the documents and the plans, specifications and bid form will be completed for public bidding.

Permits: The Park District will handle permit submittals. Upland Design will reply to any permit comments and update plans as necessary. The Park District has confirmed that the site has no wetlands nor floodplain/floodway which would require State or National permits.

Phase III- Bidding and Bid Assistance

February, 2019

The bid documents will be sent to the District digitally for distribution from your offices. The District will place an ad in the local paper and perform other required procedures for bidding. Our staff will be available throughout the bidding period to answer questions and prepare addenda if required. The Park District staff will host and attend the bid opening, tabulate bids and check references.

Phase IV- Construction Observation

April- June, 2019

Park District staff will be in charge of construction observation and will review construction submittals, pay applications, certified payroll and close-out documents prepared by the Contractor.

Upland Design will make five site visits to the park during construction and at the end of construction to create a punch list. Reports from each visit and the punch list will be distributed to the Park District and Contractor. We will be available by phone to answer questions throughout the construction. (5 site visits per site)

The Firm shall have the authority to act on behalf of the Owner only to the extent provided in this proposal and subsequent agreement. The Firm shall not have control over, charge of, or responsibility for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the construction work, nor shall the Firm be responsible for the Contractor's failure to perform the construction work in accordance with the requirements of the plans and specifications.

End of Attachment A.



Project Location **Dutch Schultz Park** 11/22/2019
 by **Jim Holder** in **Member District ADA Project Request** id. 14517967
 ADAProjects@palatineparks.org

Original submission 11/22/2019

Name **Jim Holder**

Job Title **Superintendent of Parks & Planning**

E-mail Address **adaprojects@palatineparks.org**

Phone Number **847-705-5131**

Park District **Palatine**

Project Status **New**

Project Type **Recreation Facilities and Amenities
Routes and Surfaces**

Recreation Facilities and Amenities- select a Project Category below: **Exercise Machines- Equipment**

Routes and Surfaces- select a Project Category below: **Accessible Routes- Means of Egress
Play Surfaces**

Benefits of the Project **The new sidewalk will allow individuals with mobility issues to access from the parking area to new outdoor fitness area, paved bike trail, and Golf Course entrance.**

Items that will become ADA Compliant **The new sidewalk, fitness area, and seating area.**

The project is designed or constructed, or applies human resources, to comply with: **The 2010 Standards for Accessible Design
The Illinois Accessibility Code
ASTM F 1951 Standard for Accessible Playground Surfaces**

Upload Project Related Files, Photos, Videos or Audio

[85705-02_Dutch_Schultz-Model.pdf](#)

[Dutch_Schultz_Parks_-_Fitness_Equipment_IPRA_Grant_Quote.pdf](#)

[Dutchrevised17-6684-NORTH.pdf](#)

[IMG_20191104_105257248.jpg](#)

[IMG_20191104_105326587.jpg](#)

[IMG_20191104_105347666.jpg](#)

[IMG_20191104_105743931.jpg](#)

Budget Table for ADA Related Expenses

[9922cf04-fbb9-420f-9316-78ff55776741.xlsx](#)

ADA Dollars Requested	46665
-----------------------	--------------

Notes related to requested amount	n/a
-----------------------------------	-----



GameTime c/o Cunningham Recreation
PO Box 240981
Charlotte, NC 28224
800.438.2780
704.525.7356 FAX

QUOTE
#137689

03/05/2019

Dutch Schultz Parks - Fitness Equipment (IPRA Grant)

Palatine Park District
 Attn: Ed Tynczuk
 148 W. Illinois Avenue
 Palatine, IL 60067
 Phone: 847-705-5123 Ext. 208
 etynczuk@palatineparks.org

Project #: P85705
 Ship To Zip: 60074

Quantity	Part #	Description	Unit Price	Amount
1	RDU	GameTime - GameTime Fitness <i>[Accent:_____] [Basic:_____]</i> <i>[Deck:Pvc:_____]</i> (1) 13280 -- Balance Board Station (1) 13565 -- Fitness Sign Post For Sticker (1) 13572 -- Parallel Bar Station (1) 13577 -- Assisted Horizontal Chin Up Station (1) 13565 -- Fitness Sign Post For Sticker (1) 13274S -- Vertical Press - Ada (Surface Mount) (1) 13559S -- Leg Press (Single) (1) 13560S -- Captain'S Chair - Surface Mount (1) 13561S -- Sit Up/ Back Extension (2) 13562S -- Cardio Walker (Surface Mount) (1) 13566s -- Roman Chair Squat	\$27,023.00	\$27,023.00
900	GTPIP	GT-Impax - Per SF Poured in Place Rubber, 2" Depth, 50/50 Black/Standard Color - <i>*Pricing includes site security, dumpster, freight and installation.</i> <i>*Prevailing wages.</i>	\$16.48	\$14,832.00
1	13234	GameTime - Nds Site Sign Package		



GameTime c/o Cunningham Recreation
 PO Box 240981
 Charlotte, NC 28224
 800.438.2780
 704.525.7356 FAX

QUOTE
 #137689

03/05/2019

Dutch Schultz Parks - Fitness Equipment (IPRA Grant)

Quantity	Part #	Description	Unit Price	Amount
1	2019IPRA	<p>MISC - IPRA Funding Initiative - Terms and Conditions: Matching funds must be used towards the purchase of a qualified playground structure. Other freestanding play products are available at our best pricing through US Communities. Representatives from IPRA, PlayCore, and GameTime will select qualifying projects to be considered for playground matching funds. Orders must be placed by March 12, 2019 through GameTime's exclusive Illinois representatives, Cunningham Recreation and require payment in full at time of order. Funds must be in the form of a check. Funding can only be applied to additional GameTime playground equipment purchases and only in conjunction with the original purchase. GameTime standard policies and warranties as listed in the 2019 Playground Design Guide apply. Freight, installation, surfacing, and applicable sales tax are extra and not included as part of the matching funds. To qualify for a 100% matching grant, list price of the qualifying playground system must exceed \$60,000. Matching funds are subject to rounding rules and may vary based on qualified purchase. For award recipients who wish to add fitness to their communities, separate funding will be available, please contact your Illinois GameTime representative for further details. Freestanding playground products available to winners through US Communities. No other offer, discount, or special programs can be used with this grant program. All applications must be validated by the project administrator. GameTime reserves the right to decline any application for a IPRA funding initiative. To qualify, one employee at the agency must be a member of IPRA.</p>		

Site(s) must be clear, level, free of obstructions and accessible.

Customer responsible for supplying/installation 4" concrete pads with keyway cut, per spec.

Balance Boards, Sign Posts, and Horizontal Chin Up Station cannot be surface mounted and require sono tube placement by installer prior to concrete pad installation.

Contract: USC

SubTotal: \$41,855.00
 Discount: (\$5,404.60)
 Freight: \$966.37
Total Amount: \$37,416.77



GameTime c/o Cunningham Recreation
PO Box 240981
Charlotte, NC 28224
800.438.2780
704.525.7356 FAX

QUOTE
#137689

03/05/2019

Dutch Schultz Parks - Fitness Equipment (IPRA Grant)

GAMETIME - TERMS & CONDITIONS:

- **PRICING:** Pricing is subject to change. Request updated pricing when purchasing from quotes more than 30 days old.
- **TERMS OF SALE:** For equipment & material purchases, Net 30 days from date of invoice for governmental agencies and those with approved credit. All others, full payment for equipment, taxes and freight up front. Balance for services & materials due upon completion or as otherwise negotiated upon credit application review. Pre-payment may be required for equipment orders totaling less than \$5,000. Payment by VISA, MasterCard, or AMEX is accepted. Checks should be made payable to Playcore Wisconsin, Inc. d/b/a GameTime unless otherwise directed.
- **CREDIT APPLICATION:** Required for all non-governmental agencies and those entities who have not purchased from GameTime within the previous twelve calendar months.
- **FINANCE CHARGE:** A 1.5% monthly finance charge (or maximum permitted by law) will be added to all invoices over 30 days past due.
- **CASH WITH ORDER DISCOUNT:** Orders for GameTime equipment paid in full at time of order via check or electronic funds transfer (EFT) are eligible for a 3% cash-with-order (CWO) discount.
- **ORDERS:** All orders shall be in writing by purchase order, signed quotation or similar documentation. Purchase orders must be made out to Playcore Wisconsin, Inc. d/b/a GameTime.
- **FREIGHT CHARGES:** Shipments shall be F.O.B. destination. Freight charges prepaid and added separately.
- **SHIPMENT:** Standard Lead time is 4-6 weeks after receipt and acceptance of purchase order, credit application, color selections and approved drawings or submittals.
- **PACKAGING:** All goods shall be packaged in accordance with acceptable commercial practices and marked to preclude confusion during unloading and handling.
- **RECEIPT OF GOODS:** Customer shall coordinate, receive, unload, inspect and provide written acceptance of shipment. Any damage to packaging or equipment must be noted when signing delivery ticket. If damages are noted, receiver must submit a claim to Cunningham Recreation within 15 Days. Receiver is also responsible for taking inventory of the shipment and reporting any concealed damage or discrepancy in quantities received within 60 days of receipt.
- **RETURNS:** Returns are only available on shipments delivered within the last 60 days. A 25% (min.) restocking fee will be deducted from any credit due. Customer is responsible for all packaging & shipping charges. Credit is based on condition of items upon return. All returns must be in unused and merchantable condition. GameTime reserves the right to deduct costs associated with restoring returned goods to merchantable condition. Uprights & custom products cannot be returned.
- **TAXES:** Sales tax is shown as a separate line item when included. A copy of your tax exemption certificate must be submitted at time of order or taxes will be added to your invoice.

INSTALLATION CONDITIONS:

- **ACCESS:** Site should be clear, level and allow for unrestricted access of trucks and machinery.
- **STORAGE:** Customer is responsible for providing a secure location to off-load and store the equipment during the installation process. Once equipment has delivered to the site, the owner is responsible should theft or vandalism occur unless other arrangements are made and noted on the quotation.
- **FOOTER EXCAVATION:** Installation pricing is based on footer excavation through earth/soil only. Customer shall be responsible for unknown conditions such as buried utilities (public & private), tree stumps, rock, or any concealed materials or conditions that may result in additional labor or materials cost.
- **UTILITIES:** Installer will contact Miss Utility to locate all public utilities prior to layout and excavation of any footer holes. Owner is responsible for locating any private utilities.
- **ADDITIONAL COSTS:** Pricing is based on a single mobilization for installation unless otherwise noted. Price includes ONLY what is stated in this quotation. If additional site work or specialized equipment is required, pricing is subject to change.



GameTime c/o Cunningham Recreation
PO Box 240981
Charlotte, NC 28224
800.438.2780
704.525.7356 FAX

QUOTE
#137689

03/05/2019

Dutch Schultz Parks - Fitness Equipment (IPRA Grant)

POURED-IN-PLACE RUBBER SURFACING NOTES:

- Normal lead time is 4 -6 weeks from active order date.
- Installation is weather dependent & limited by cold or wet weather. The local weather forecast provided by The Weather Channel must predict a minimum 50 degree temperature & rising from 48 Hours before installation is scheduled to begin until 72 hours after scheduled completion for proper curing.
- All areas must be installed in one mobilization.
- **Owner or General Contractor is responsible for site security during the curing period. This curing period could be as long as 72 Hours from installation completion and is dependant upon weather conditions. Security can be provided at an additional charge. If needed and not already included as a separate line item on this quotation, please request it be added.**
- **Owner or General Contractor is responsible for providing a means of disposal of the waste and debris generated during the installation of rubber surfacing. Arrangements can be made for a dumpster to be delivered to the site and removed upon completion at an additional charge. If needed and not already included as a separate line item on this quotation, please request it be added.**
- Standard aromatic urethane binder is included. Expect some yellowing of binder with exposure to sunlight. This yellowing effect will be most notable on lighter colors (e.g. blue, gray, pearl and purple). Over time, as the binder wears off of the individual rubber particles, the effect will be less notable.
- Aliphatic (non-yellowing) binder is recommended for use with lighter colors (e.g. blue, gray, pearl, purple) and on projects requiring graphics. Aliphatic binder can be provided at an additional charge. If needed and not already included as a separate line item on this quotation, please request it be added.
- Top 1/2" EPDM wear surface applied at an industry-leading rate of 2.44 lbs per sq. ft. for long-term durability.
- There will be an additional up-charge for graphics. The complexity of which will determine this charge. All projects requiring graphics, if not accounted for in original quotation must be re-quoted to include this charge. Owner must provide graphic details and dimensions for layout before an accurate quotation can be provided.
- 5 year warranty.

GENERAL NOTES

- THE CONTRACTOR SHALL PERFORM ALL WORK PER THE REFERENCED STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, MUNICIPALITY, AND NORMAN J. TOBERMAN AND ASSOCIATES, LLC, A MINIMUM OF THREE (3) DAYS BEFORE START OF CONSTRUCTION. NORMAN J. TOBERMAN & ASSOCIATES, LLC., (847) 439-8225 VILLAGE OF PALATINE (847) 358-7500 PALATINE PARK DISTRICT (847) 705-5130
- THE CONTRACTOR SHALL REQUEST A UTILITY LOCATE A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION ACTIVITIES. CONTACT J.U.L.I.E. AT (800) 892-0123 OR 811.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS & DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE DONE TO UTILITIES WITHIN THE LIMITS OF IMPROVEMENT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CIVIL ENGINEERING PLANS AND ANY PLANS PREPARED BY OTHERS ARE CONCURRENT.
- DO NOT SCALE PLANS FOR CONSTRUCTION DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
- A COPY OF THE APPROVED ENGINEERING PLANS IS TO REMAIN ON SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL BARRICADES, CLOSE WALKS BEFORE STARTING AND COVER EXCAVATIONS AT THE END OF EACH DAY.
- THE CONTRACTOR SHALL MAINTAIN "POSITIVE" SITE DRAINAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE OR SECURE CONSTRUCTION EQUIPMENT AT THE END OF EACH DAY.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CONSTRUCTION STAKING AND LAYOUT.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER AND JURISDICTIONAL AUTHORITIES, INCLUDING THEIR AGENCTS, AND NEIGHBORING PROPERTY OWNERS FROM LIABILITIES.
- THE CONTRACTOR SHALL VERIFY ELEVATIONS BEFORE STARTING WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNS & BARRICADES.
- THE CONTRACTOR SHALL MERGE COST FOR ANY INCIDENTAL ITEMS INTO HIS PROPOSAL.
- THE CONTRACTOR SHALL GUARANTEE PLANT/PAVING MATERIALS & WORKMANSHIP FOR ONE YEAR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF UNSUITABLE AND EXCESS MATERIAL.
- THE CONTRACTOR SHALL COMPLY WITH PA 96-1416/CLEAN CONSTRUCTION DEBRIS REMOVAL & OFF-SITE DISPOSAL REQUIREMENTS.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL PERFORM EROSION CONTROL AND SEDIMENT PROTECTION WORK PER THE ILLINOIS URBAN MANUAL FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION AND LOCAL CODES AND STANDARDS.
- THE CONTRACTOR SHALL KEEP THE WORK SITE, LOT, AND WALK FREE OF MUD & DEBRIS.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SILT & CONSTRUCTION FENCES AND STABILIZED CONSTRUCTION ENTRANCE PRIOR TO START OF CONSTRUCTION.
- THE TEMPORARY EROSION CONTROL MEASURES DEPICTED UPON THE PLANS ARE MINIMUM REQUIREMENTS. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE JURISDICTIONAL AUTHORITY.
- THE CONTRACTOR SHALL PROTECT DITCHES, STORM SEWERS, AND CULVERTS FROM SILTATION.
- THE CONTRACTOR SHALL FILTER WATER PUMPED FROM DEWATERING OPERATIONS BEFORE IT FLOWS OFFSITE.
- THE CONTRACTOR SHALL TEMPORARILY SEED TOPSOIL STOCKPILE IF DIRECTED BY THE JURISDICTIONAL AUTHORITY.
- THE CONTRACTOR SHALL SWEEP ADJACENT ROADWAYS TO REMOVE TRACKED MUD.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES.
- PERMANENT SOIL STABILIZATION SHALL OCCUR WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SITE.

CONCRETE SPECIFICATION:
 CONCRETE SHALL COMPLY WITH IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS SECTION 1020.
 ACI 318 CONCRETE EXPOSURE CLASS: F2
 MINIMUM COMPRESSIVE STRENGTH @ 14 DAYS: 3500 psi
 MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS: 4500 psi
 WATER-CEMENT RATIO NOT TO EXCEED 0.45 lbs/lbs
 AIR ENTRAINMENT: 5%-8%



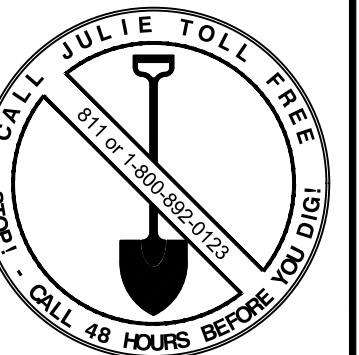
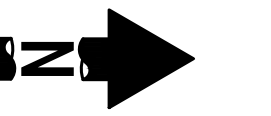
SHEET INDEX

- C-1 TITLE AND DETAILS
- C-2 SITE PLAN

PROJECT

ADA Sidewalk - 2018
 AT
 Robert "Dutch" Schultz Recreation Area
 512 W. Northwest Highway
 Palatine, IL

0 1"
 Scale: As Noted



LOCATION MAP



SW QUARTER OF SECTION 10, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN

BENCHMARK

HORIZONTAL DATUM IS ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83.
 VERTICAL DATUM IS USGS NAVD 1988.
 DERIVED FROM GPS CONTROL.

REFERENCED STANDARDS

THE FOLLOWING CODES AND SPECIFICATIONS ARE INCORPORATED INTO THESE DOCUMENTS BY REFERENCE AND SHALL BE CONSIDERED MINIMUM CONSTRUCTION STANDARDS. IF ANY CONFLICT EXISTS BETWEEN THE PLANS, SPECIFICATIONS, OR CODES, THE STRICTEST CONDITION SHALL APPLY. IF NO EDITION IS CITED, THE CURRENT EDITION SHALL APPLY:

- 2016 IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- 2016 IDOT SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS
- ISPE STANDARD SPECIFICATIONS OF WATER AND SEWER CONSTRUCTION IN ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- VILLAGE OF PALATINE CODE OF ORDINANCES

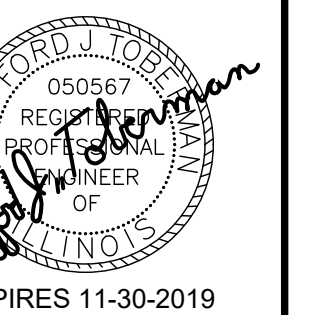
REVISION
 NO. DATE
 1 4/15/19 per Village bldg. comments
 2 5/1/19 adjust path for installed light pole

NORMAN J. TOBERMAN & ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 116 S. Wile Road, Suite 307, Arlington Heights, IL 60005
 Tel: (847) 439-8225 Fax: (847) 439-8224
 mail@toberman.us
 IL Design Firm: 184,005910
 Expires: 4-30-2019

TITLE & DETAILS

ADA SIDEWALK - 2019
 ROBERT "DUTCH" SCHULTZ RECREATION AREA
 PALATINE PARK DISTRICT
 512 W. NORTHWEST HIGHWAY, PALATINE, IL

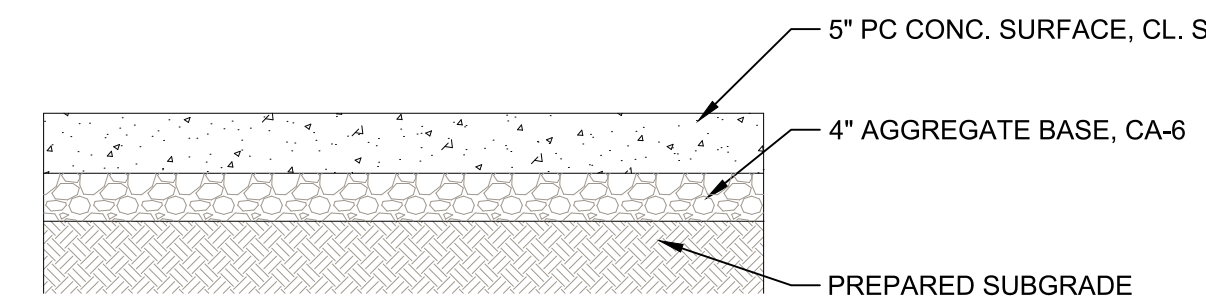
THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS



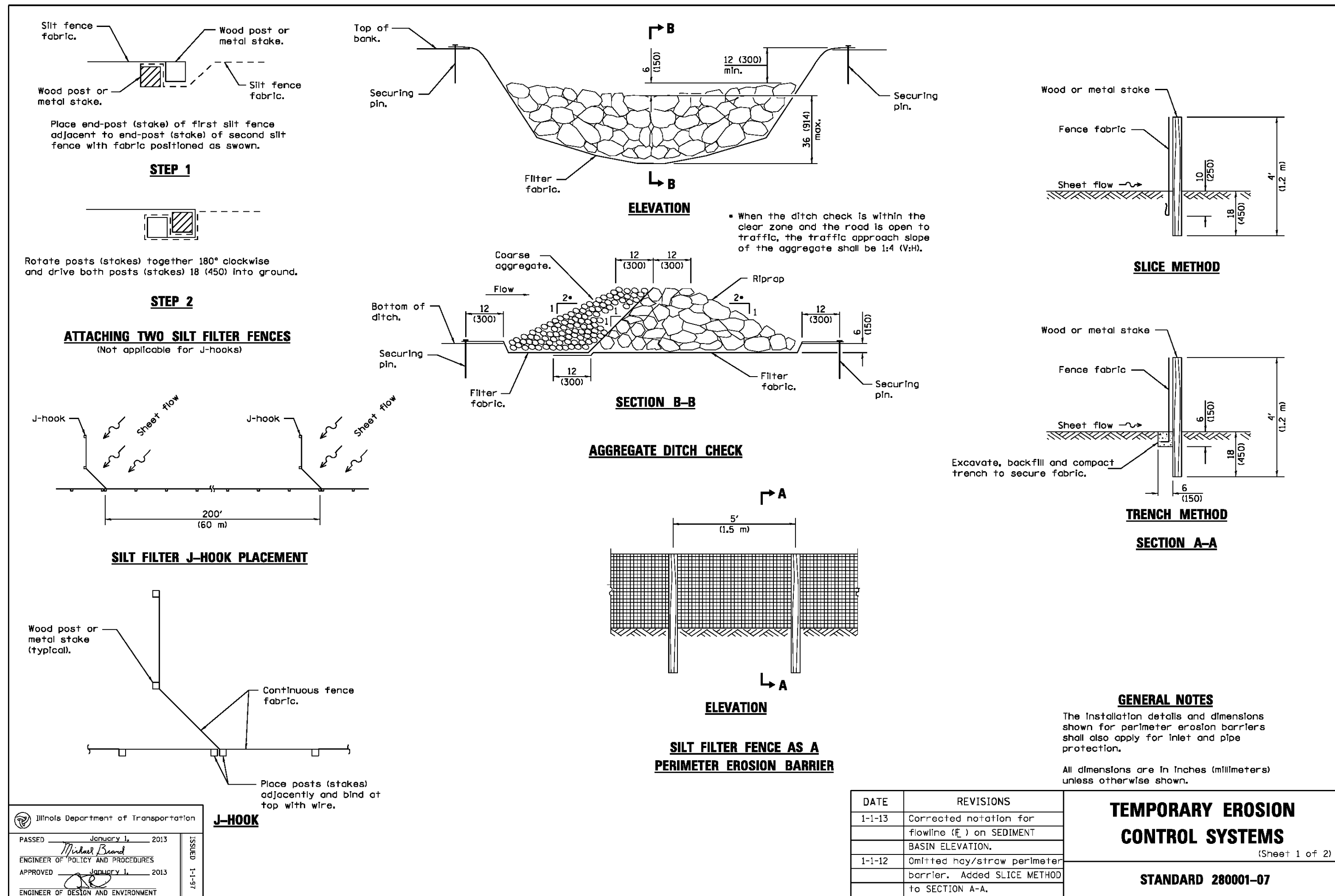
DATE 2/13/2019
 DRAWN BY: MLC
 DESIGN BY: MLC
 APPROVED BY: CJT

Sheet No.
C-1

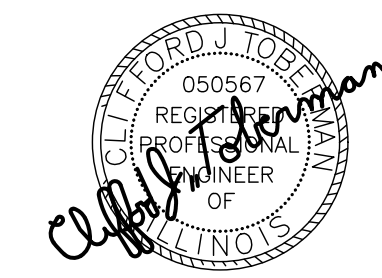
NJT Project No.
17-6684



SECTION - CONCRETE WALK
 NOT TO SCALE



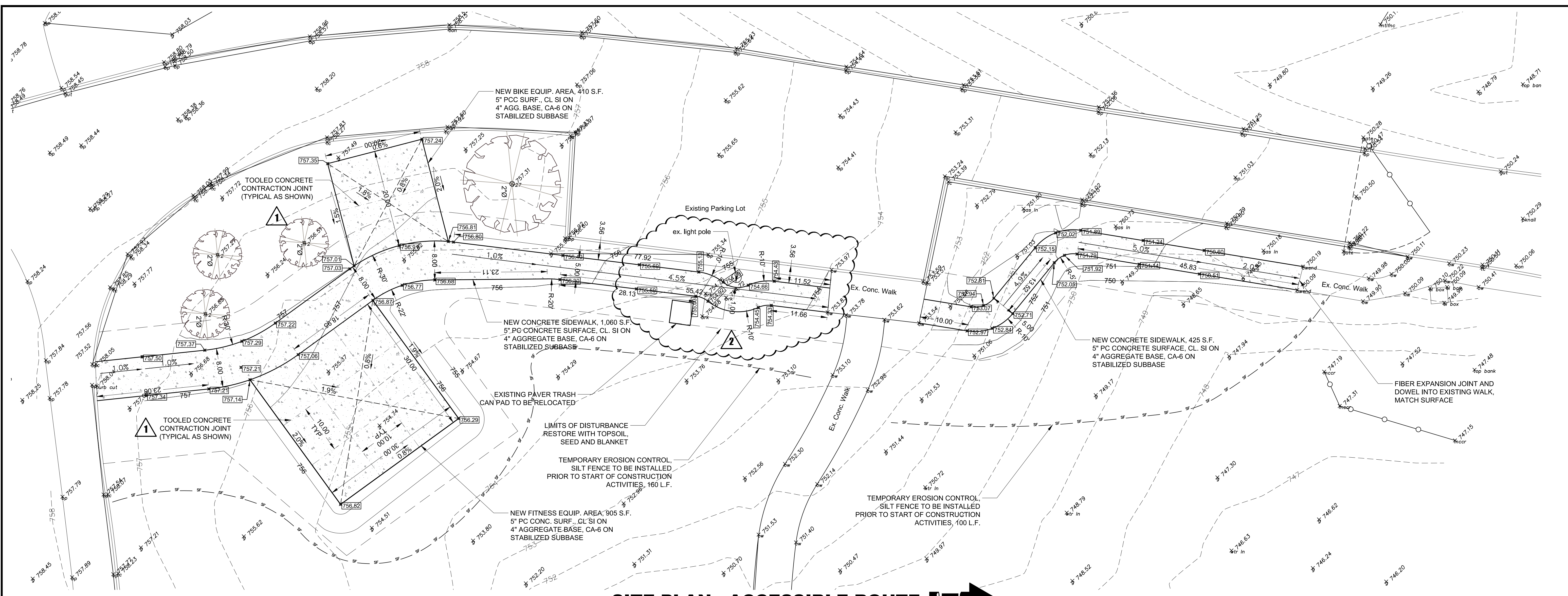
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MYSELF, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.



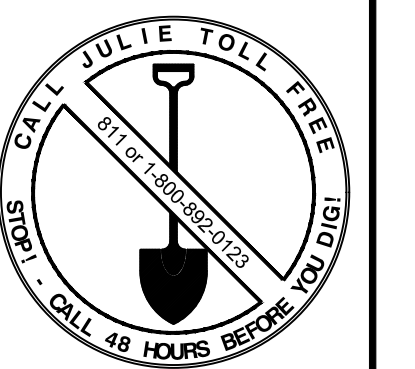
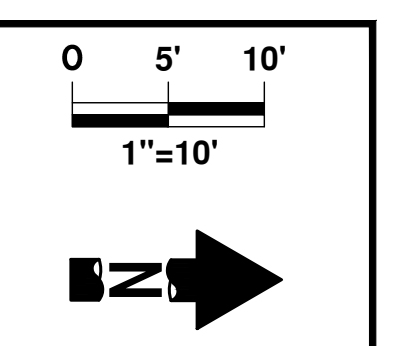
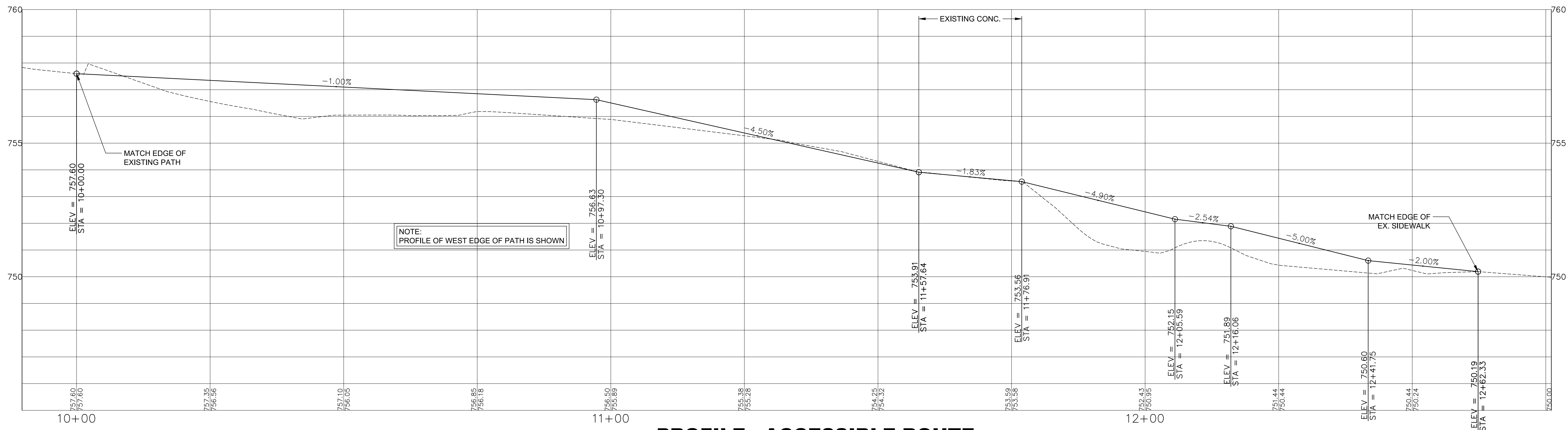
EXPIRES 11-30-2019

MY LICENSE EXPIRES: 11/30/2019
 ENTIRE SUBMISSION IS COVERED BY THIS SEAL UNLESS NOTED BELOW

2/13/2019 FOR BID AND PERMIT



SITE PLAN - ACCESSIBLE ROUTE



NO.	DATE	REVISION
1	4/15/19	per Village bldg. comments
2	5/1/19	adjust path for installed light pole

NORMAN J. TOBERMAN & ASSOCIATES, LLC
CIVIL ENGINEERS & SURVEYORS
116 S. Wile Road, Suite 307, Arlington Heights, IL 60005
P: (708) 414-1414
mail@toberman.us
IL Design Firm: 184,005910
IL Expires: 4-30-2019

PATH PLAN AND PROFILE
ADA SIDEWALK - 2019
ROBERT "DUTCH" SCHULTZ RECREATION AREA
PALATINE PARK DISTRICT
512 W. NORTHWEST HIGHWAY, PALATINE, IL

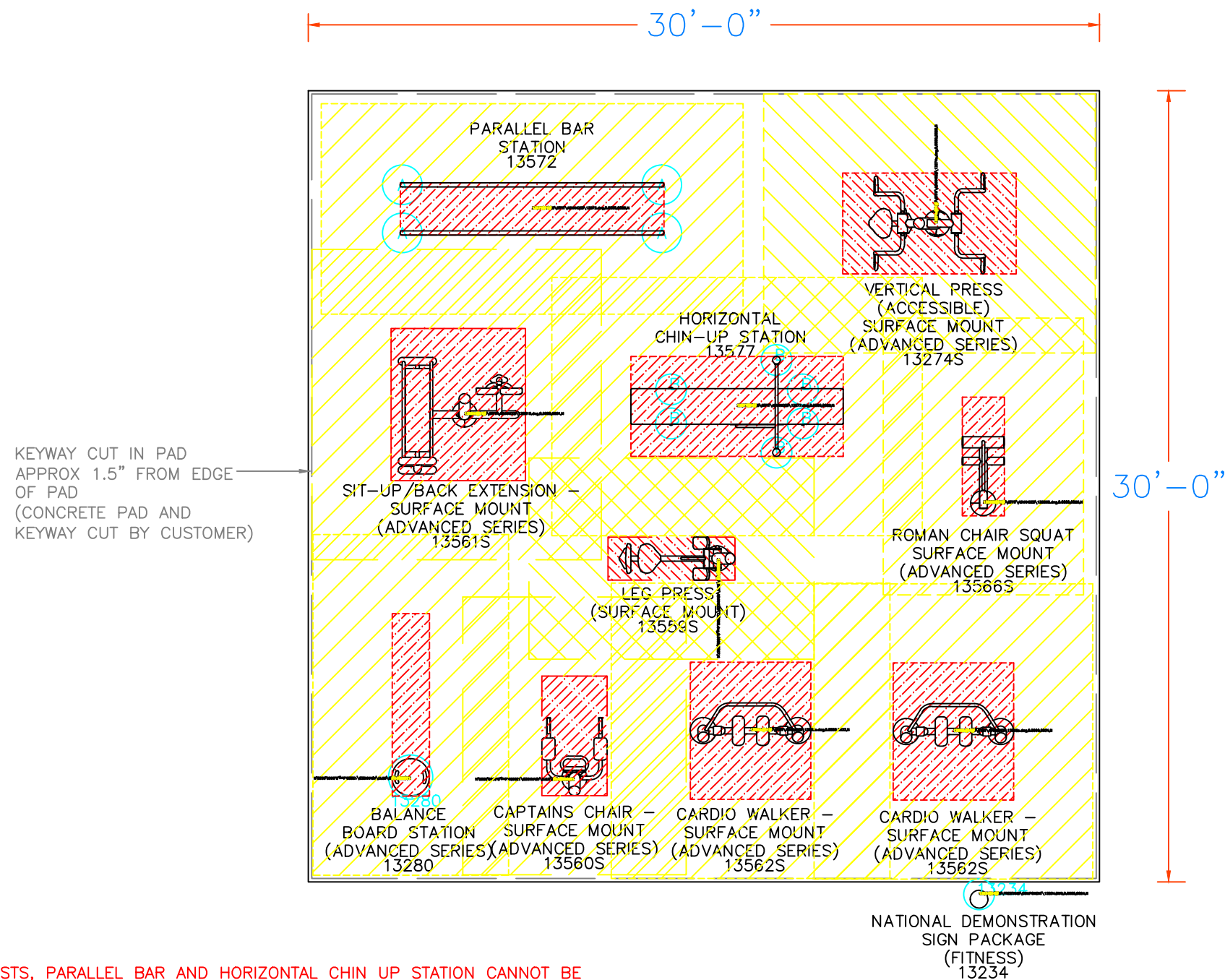
THIS SEAL IS VOID IF NON-PRINTED
CHANGES APPEAR ON THESE PLANS

DATE: 2/13/2019
DRAWN BY: MLC
DESIGN BY: MLC
APPROVED BY: CJT

Sheet No.
C-2
NJT Project No.
17-6684

2/13/2019 FOR BID AND PERMIT

DUTCH SCHULTZ PARK



*BALANCE BOARD, SIGN POSTS, PARALLEL BAR AND HORIZONTAL CHIN UP STATION CANNOT BE SURFACE MOUNTED AND WILL REQUIRE SONO TUBE PLACEMENT PRIOR TO CONCRETE PAD INSTALLATION



A PLAYCORE Company

150 PlayCore Drive SE
Fort Payne, AL 35967
www.gametime.com



Palatine Park District
Dutch Schultz Park - Fitness Area
Palatine, IL

Representative
Cunningham Recreation

This play equipment is recommended for children ages
ADULT

Minimum Area Required:

Scale: NTS

This drawing can be scaled only when in an 11" x 17" format

IMPORTANT: Soft resilient surfacing should be placed in the use zones of all equipment, as specified for each type of equipment, and at depths to meet the critical fall heights as specified by the U.S. consumer Product Safety Commission, ASTM standard F 1487 and Canadian Standard CAN/CSA-Z-614

Drawn By:
cb/hs

Date:
02/21/2019

Drawing Name:
85705-02 Dutch Schultz

Project Type (From ab	Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate	% ADA Dollars Requested
Recreation Amenities	Exercise equipment	1, 2, 7	21618.4	8647.36	40.00%
Routes and Surfaces	Accessible routes	3, 4, 5, 6	33123	23186.1	70.00%
Routes and Surfaces	Play Surfaces	7	14832	14832	100.00%

#DIV/0!
#DIV/0!
#VALUE!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!

Total Project Cost	69573.4
Total ADA Portion of Project Cost	46665.46
Total % of ADA Dollars Requested	67.07%



Project Location	Dutch Schultz Park	11/22/2019
	by Jim Holder in Member District ADA Project Request	id. 14517969
	ADAProjects@palatineparks.org	

Original submission 11/22/2019

Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Status	New
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Exercise Machines- Equipment
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces
Benefits of the Project	The new sidewalk will allow individuals with mobility issues to access from the parking area to new outdoor fitness area, paved bike trail, and Golf Course entrance.
Items that will become ADA Compliant	The new sidewalk, fitness area, and seating area.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code ASTM F 1951 Standard for Accessible Playground Surfaces

Budget Table for ADA Related Expenses

ADA Dollars Requested **46665**

Notes related to requested amount n/a

Project Type (From ab Project Category (From Above)

Media File #/Name

Project Category Cost

ADA Portion of Project Cate; % ADA Dollars Requested

#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!
#DIV/0!

Total Project Cost 0
Total ADA Portion of Project Cost 0
Total % of ADA Dollars Requested #DIV/0!

Project Location	Doug Lindberg Park	11/21/2019
	by Jim Holder in Member District ADA Project Request	id. 14509173
	ADAProjects@palatineparks.org	

Original submission 11/21/2019

Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	ADAProjects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces Walking Surfaces
Benefits of the Project	Add accessible swing, transfer stations, sloped entry, concrete and play features to allow disabled individuals to use the playground.
Items that will become ADA Compliant	Swing, transfer stations, play features and an entry path.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code ASTM F 1951 Standard for Accessible Playground Surfaces Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[Lindberg_Quote_Contract_Price_003.pdf](#)

[2019_Playgrounds_Bid_Tab.xlsx](#)

[Upland_Design_2019_Contract.pdf](#)

[2019_02_28_Lindberg_Plans.pdf](#)

[Lindberg_Playground_ADA_Costs_2019.pdf](#)

[DL_1.jpg](#)

[DL_2.jpg](#)

[DL_3.jpg](#)

[DL_4.jpg](#)

[DL_5.jpg](#)

[DL_6.jpg](#)


[DutchLindbergEquipPurchase.pdf](#)

Budget Table for ADA Related Expenses

[dfdfa12-a64b-4f21-8006-095e2be99249.xlsx](#)

ADA Dollars Requested	45399
-----------------------	--------------

Notes related to requested amount	The total cost for the project Playground purchase, installation, and all concrete work was \$116,040.42.
-----------------------------------	--

	A	B	C	D	E	F	G
1					Palatine Park District		
2					2019 Replace Playgrounds and Shelter		
3					March, 18, 2019 - 10:30 a.m.		
4					Bid Tabulation Sheet		
5							
6	Company	Item 1: Doug Lindberg Playground	Item 2: Doug Lindberg Shelter	Item 3: Dutch Schultz Playground	Total Base Bid	Bid Bond	Cont. Cert.
7	Absolute Home Improvements	\$ 56,302.00	\$ 13,450.00	\$ 41,496.00	\$ 111,248.00	X	X
8	Clauss Brothers, Inc.	\$ 90,540.30	\$ 16,520.00	\$ 66,959.60	\$ 174,019.90	X	X
9	E. Hoffman, Inc.	\$ 69,916.50	\$ 24,100.00	\$ 49,821.00	\$ 143,837.50	X	X
10	GLI Services, Inc.	\$ 75,495.00	\$ 14,750.00	\$ 56,280.00	\$ 146,525.00	X	X
11	Hacienda Landscaping, Inc.	\$ 64,096.00	\$ 18,500.00	\$ 44,172.00	\$ 126,768.00	X	X
12	K&D Enterprise Landscape	\$ 132,762.00	\$ 18,140.00	\$ 112,548.00	\$ 263,450.00	X	X
13	The Kenneth Company	\$ 67,404.00	\$ 10,880.00	\$ 46,567.00	\$ 124,851.00	X	X
14	Bid Prime, Inc.						
15	Chicagoland Paving						
16	D & J Landscape, Inc.						
17	Mercer Technologies Firm						
18	Orbis Construction Company						
19	PATH Construction Central						
20	Team Reil, Inc.						
21							
22							

NO BID

PARKREATION, INC

27 East Palatine Road, Prospect Heights, IL 60070

March 20, 2019

Quotation Number: J031919-Contract Price

Ed Tynczuk
148 W. Illinois
Palatine, IL 60067
847-705-5130

Project Name: Dutch Schultz & Lindberg Park
Quoted By: John Simonaitis

<u>QTY.</u>	<u>Product #</u>	<u>Description</u>	<u>All pricing is valid for 30 days</u>	<u>Unit Price</u>	<u>Total Price</u>
1	RO309190008	Dutch Schultz Park Playground Contract Price ID# 95423			\$55,673.08
1	RO309190009	Doug Lindberg Park Playground Contract Price ID# 95423			\$59,738.42
		Freight Included Per Contract			\$0.00
		Delivered Total			\$115,411.15

Terms:
 1. "I/We understand that all accounts are payable to Parkreation, Inc. according to the terms of their invoice, and if not paid on or before said date, are then delinquent. I/We agree to pay any and all service charges added each month to past due invoices. Terms are Net 30 days upon delivery with approved credit. All charges are due and payable in full at Parkreation, Inc., 27 E. Palatine Rd., Prospect Heights, IL 60070 unless notified in writing to the contrary. To the extent the terms and conditions of any purchase order/contract and/or any purchase order/contract confirmations are inconsistent with the terms and conditions of this signed quote, the terms and conditions of this signed quote shall prevail.
 2. All pricing is valid for 30 days from the date above.
 3. The above pricing (if more than one item) is based upon a package purchase. Any adjustments may be subject to a price revision.
 4. Customer is responsible for the off-loading of the equipment and an accurate inventory should be taken at the time and all missing or damaged parts should be noted to the Driver. You have 60 days to report any missing or damaged parts to your sales representative. Truck Driver will not unload equipment.
 5. Nontaxable entities are required to provide copy of tax exempt certificate or be taxed upon invoice.
 6. Installation not included unless specifically quoted

Date 3-26-19 Purchaser's Signature *Susan David* Purchaser's Title Park Board President

Email Address E.Tynczuk@PalatineParks.org Special Instructions _____

Ship to address _____

Park Site Address Dutch / 512 W. NW. Hwy. Lindberg / 1313 E. Sarboin Dr. Palatine, IL 60067

IllinoisOffice@Parkreation.com - 27 East Palatine Road, Prospect Heights, IL 60070 - Phone 847-419-7744, Fax 847-419-7747



PlayPower LT Farmington, Inc.
 878 E. US Hwy 60
 Monett, MO 65708
 1-800-325-8828

For PlayPower Internal Use Only
 ORDER: R0309190009
 PROJECT: Doug Lindberg Park

PlayArea_1

Product line: KidBuilders
 Age group: 5-12

Components

Part Number	Description	Qty	Weight	Volume	List Price	Total
100001127	KB LONG DK/DK PLATE 205MM/8"	2	25.00	0.38	158.00	316.00
100001134	KB DK/DK PLATE 203 MM/8"	4	16.00	0.22	153.00	612.00
200006961	BRIDGE ARCH W/SAFETY RAILS KB	1	403.00	54.00	2,522.00	2,522.00
200006993	KB SLIDE POLE 1625 MM/64"	1	63.00	15.00	792.00	792.00
200007096	PANEL COUNTER KB	1	40.00	15.00	687.00	687.00
200008193	TOOL BOX KID BUILDERS #2, S.S. (MM)	1	3.00	0.36	0.00	0.00
200013800	KB 136" POST PLUS GLV. W/ALUM.CAP	4	77.00	3.00	387.00	1,548.00
200013812	KB 148" POST PLUS GLV. W/ALUM.CAP	1	81.00	2.00	408.00	408.00
200015483	KB 164" POST PLUS GLV. W/ALUM.CAP	5	89.00	4.00	451.00	2,255.00
200015486	KB 176" POST PLUS GLV. W/ALUM.CAP	1	96.00	3.00	476.00	476.00
200114727	KBP SAFETY RAIL W/WHEEL MOUNT DKMT(2001	1	51.00	0.00	557.00	557.00
200131014	KB 172" GALV. POST WITH ALUM. CAP	3	102.00	4.00	468.00	1,404.00
200200467	KB ACCORDION CLIMBER 1422MM(56") GROUND	1	124.00	18.00	1,631.00	1,631.00
200200530	KIT MAINTENANCE KB W/PAINT W/O LIST	1	10.00	1.00	0.00	0.00
200200687	POST PLUS 200" W/ALUM CAP F/KB	4	109.00	4.00	520.00	2,080.00
200200695	KB DUAL SIDED SEAT PANEL	1	80.00	11.00	1,248.00	1,248.00
200201276	PANEL "BUTTERFLY" F/KB DKMT	1	45.00	4.00	787.00	787.00
200202105	KB 96" HYPERSONIC SLIDE	1	255.00	80.00	3,040.00	3,040.00
200202397	KB RECYCLED TREEHOUSE SAFETY PANEL	1	90.00	6.00	1,193.00	1,193.00
200202420	KB SILO CLIMBER 2400(96")	1	200.00	90.00	1,758.00	1,758.00
200202472	KB RECYCLED TREEHOUSE POD CLIMBER 96"	1	185.00	37.00	2,858.00	2,858.00
200202483	KB DECK SQUARE LARGE HOLE 11GA	2	116.00	10.00	1,021.00	2,042.00
200202488	KB DECK 1/2 SQUARE LARGE HOLE 11GA	4	66.00	8.00	626.00	2,504.00
200202503	KB DECK SQUARE SMALL HOLE 11GA	3	116.00	10.00	1,021.00	3,063.00
200202564	KB TRANS STAT 1220 GRD RL 11GA	1	378.00	31.00	2,891.00	2,891.00
200202730	NU-EDGE TREE 64" W/KB TREEHOUSE PANEL	1	240.00	110.00	5,505.00	5,505.00
200202760	KB NU-EDGE BEAM ROOF	1	300.00	45.00	4,891.00	4,891.00
200202810	KB NU-EDGE BEAM ROOF SINGLE	1	150.00	30.00	2,583.00	2,583.00
200202821	NU-EDGE ROCK CHALLENGE WALL 88"	1	165.00	12.00	3,321.00	3,321.00
200203131	KB QUANTUM II SLIDE 8' SPIRAL RIGHT	1	210.00	162.00	4,908.00	4,908.00
200203337	KB SLALOM SLIDE 64"	1	250.00	105.00	4,063.00	4,063.00
200203352	KB CLIMBER CURLY 56" W/WIRE ENCL	1	71.00	37.00	974.00	974.00
200203389	KB DBL WIDE SLIDE W/SLALOM HOOD (48")	1	160.00	70.00	1,322.00	1,322.00
200203417	NUEDGE-X LUMBERJACK CLIMB 64" KB W/WIRE	1	375.00	28.00	3,492.00	3,492.00
200203575	ASSY RAIL MT.ALUM.STEER.WHL.	1	2.00	0.08	245.00	245.00
HW7704-1	HRDW PKG F/CLAMP ELIMINATION S1/1	1	1.00	0.00	16.00	16.00

PlayArea_2

Product line: Traditional Play

Age group: 5-12

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
200202202	MAXPLAY 8' STANDARD BEAM	1	220.00	11.00	1,263.00	263
200202204	MAXPLAY 8' ADD-ON STANDARD BEAM	1	140.00	9.00	1,134.00	1,134.00
200202835	ASSY BELT SEAT F/8' SWING W/CHAIN	2	18.00	0.50	119.00	238.00
200202836	ASSY TOT SEAT F/8' SWING W/CHAIN	1	21.00	1.00	208.00	208.00
200203433	INCLUSIVE SWING SEAT W/CHAINS 8'	1	45.00	14.00	1,123.00	1,123.00

Biba_Included

Product line: Park Service

Age group:

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
9991Z	BIBA ENTRY SIGN	1	45.00	3.50	0.00	0.00
9992Z	BIBA POST MARKERS	1	10.00	1.00	0.00	0.00

RiskSign_Included

Product line: Park Service

Age group:

Components

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
787Z	RISK MANAGEMENT SIGN - ENGLISH	1	0.00	0.00	0.00	0.00

Additional Items

Part Number	Description	Qty	Weight	Volume	Unit Price	Total
116022	LABEL WARNING - PLAYGROUND - ENGLISH	4	0.00	0.00	1.00	4.00
200104307	LABEL AGE APP. (5 TO 12 YRS.)	4	0.00	0.00	3.00	12.00
200111492	LABEL, IDENTIFICATION STAMPED W/RIVETS	1	0.00	0.00	0.00	0.00
200111492	LABEL, IDENTIFICATION STAMPED W/RIVETS	1	0.00	0.00	0.00	0.00
200305596	14' MED CRATE (ASSY DOMESTIC)	2	277.00	0.00	0.00	0.00
200305597	14' LARGE CRATE (ASSY DOMESTIC)	3	385.00	0.00	0.00	0.00

Totals:

Total Weight:	8,707.00 lbs
Total Volume:	1,150.58 ft ³
List Price:	\$71,974.00
Contract Discount ID# 95423:	(\$12,235.58)
Products Subtotal:	\$59,738.42
Installation:	\$0.00
Freight:	\$0.00
Products by Other:	\$0.00
Grand Total:	\$59,738.42

**CONTRACT
BETWEEN OWNER and FIRM
FOR LANDSCAPE ARCHITECTURAL SERVICES
FOR PALATINE 2019 PLAYGROUND RENOVATIONS**

Palatine Park District
148 W. Illinois Avenue
Palatine, IL 60067
Phone: 847.991.0333..... The Owner

And

Upland Design Ltd.
24042 Lockport St., Suite 200
Plainfield, IL 60544
Phone: 815.254.0091..... The Firm

Owner and Firm agree as set forth below:

1. Firm's Basic Services

The Firm agrees to provide its professional services in accordance with generally accepted standards of its profession. The Firm agrees to put forth-reasonable efforts to comply with codes, laws and regulations in effect as of the date of this contract. **See Attachment A for Project Scope of Services.**

2. Excluded Services

The Firm and sub-consultants will not be responsible for the following: Hydrologic/hydraulic modeling the floodplain/floodway, wetland mitigation, archeological services, environmental testing, subsurface conditions and material testing, boundary survey, topographic survey, soil borings, construction layout; construction scheduling; construction work; work-site safety, labor negotiations, permit fees or court appearances as part of these services.

Hazardous Materials: The scope of the Firm's services for this Agreement does not include any responsibility for detection, remediation, accidental release, or services relating to waste, oil, asbestos, lead, or other hazardous materials, as defined by Federal, State, and local laws or regulations.

3. Construction Phase Services

If Firm performs any services during the construction phase of the project, Firm and sub-consultants shall not supervise, direct, or have control over Contractor's work. The Firm and sub-consultants shall not have authority over or responsibility for the construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the work of the Contractor. The Firm does not guarantee the performance of the construction contract by the Contractor and do not assume responsibility for the Contractor's failure to furnish and perform its work in accordance with the Contract Documents.

4. Firm's Insurance

The Contract documents shall include Firm's Proof of Insurance with Owner listed as certificate holder.

5. Owner Responsibilities

The Owner has designated Ed Tynczuk, Superintendent of Parks, as the contact person(s) for this project. The Firm will direct correspondence and information to the contact person. The Owner will provide pertinent information to the Firm in a timely manner so as not to hinder or delay the Firm performing their work in a timely and cost effective manner throughout the project.

The Owner agrees to provide Firm with existing base information for the site and will assist the Firm with obtaining other information as requested. The Firm will rely on this information, without liability, on the accuracy and completeness of information provided by the Owner. The Owner agrees to advise Firm of any known or suspected contaminants at the Project Site and the Owner shall be solely responsible for all subsurface soil conditions.

Right of Entry: When entry to property is required for the Firm and/or sub-consultant to perform its services, the Owner agrees to obtain legal right-of-entry on the property.

6. Project Schedule

The Firm shall render its services as expeditiously as is consistent with professional skill and care. During the course of the Project, anticipated and unanticipated events may impact any Project schedule. The Firm will attempt to make the Owner aware of events that will impact the Project schedule.

7. Compensation and Payments

The Owner shall pay to the firm the following lump sum not to exceed prices for the work described herein.

In accordance with the described services above, the following lump sum fee would be paid to Upland Design Ltd. Invoices will be structured to reflect completed work.

Summer 2018

Concept Planning and Cost Estimates:
Palatine Hills Planning: \$4,000

Fall 2018 to Spring of 2019

Construction Documents, Bidding and Construction Administration	
Lindberg	\$ 6,880
Palatine Hills	\$ 6,880
Total	\$14,060

Reimbursable Items: Reimbursable items include the cost of printing plans, preparing discs (if necessary) and mileage at current IRS rates.

Optional Services:

Additional meetings can be scheduled by the District at the costs below:

Staff Meetings	\$ 544
Site Visits	\$ 584
Public Meetings	\$ 786
Color Renderings	\$ 550

2018 Rate Sheet Hourly Billing Rates:

Principal Landscape Architect	\$150
Assistant Landscape Architect	\$130
Landscape Designer	\$ 115

Firm shall submit request(s) for payment to the Owner. Payment requests shall be made monthly for that portion of the project that has been completed. The Owner agrees to make the requested payment within 30 days of submission of each payment request.

Additional Information:

- a) At the request of the Owner, additional meetings or work may be added at the professional service rates listed herein.
- b) No additional work shall be added to the contract without authorization from the Owner.

8. Suspension or Termination of Services

If the Owner in good faith determines that the Firm prosecutes or fails to prosecute its work in such manner as to hinder or delay the completion of the project, the Owner may serve written notice to the Firm setting forth any complaint about Firm’s performance of its work. The Firm shall have seven (7) days from receipt of such written notice in which to take corrective action. If the Firm fails to take appropriate corrective action within said seven (7) day period, the Owner may exercise the following remedies:

- a. Terminate the Firm’s services by a written notice effective on the date such written notice is served on the Firm; and,

- b. Order the remaining necessary work be done by another Firm, if desired.
- c. If the Owner in good faith exercises the above remedies, Owner shall be responsible to pay the Firm only for the work performed prior to termination of the contract. The above remedies shall be Owner's sole and exclusive remedies in the event the Owner terminates the Firm's services under this provision.
- d. The Firm may terminate this Contract upon seven days written notice. If terminated, Owner agrees to pay the Firm for all Basic and Additional Services rendered and Reimbursable Expenses incurred up to the date of termination. Upon not less than seven days' written notice, Landscape Architect may suspend the performance of its services if Owner fails to pay the Firm in full for services rendered or expenses incurred. The Firm shall have no liability because of such suspension of service or termination due to nonpayment.

9. Indemnification

The Firm agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Owner up to the amount of this contract fee for services from loss and expense, including reasonable attorneys' fees, to the extent caused by Firm's negligent acts, errors or omissions in the performance of the work under this Contract. Firm shall not be liable for special, incidental or consequential damages, including, but not limited to loss of profits, revenue, use of capital, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reason of the work done under this Contract. The Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Firm from any damage, liability or cost, including reasonable attorneys' fees and costs of defense arising from this project, to the extent caused by the Owner's negligent acts, errors or omissions and those of its other Firms, sub-consultants or consultants (whether or not the Owner is legally liable for them) or anyone for whom the Owner is legally liable. In the event of joint or concurrent negligence, Firm shall bear only that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of the third parties) which caused the personal injury or damage.

10. Limitation of Liability

In any event, in recognition of the relative risks and benefits of the project, the Owner and the Firm have allocated the risks such that the Owner agrees that to the fullest extent permitted by law, the Firm's total aggregate liability to the Owner for any and all injuries, claims, costs, losses, expenses, damages of any nature whatsoever or claim expenses arising out of this Contract from any cause or causes, including attorney's fees and costs, and expert witness fees and costs, shall not exceed the total Firm's fee for the work rendered on this project.

11. Dispute Resolution

Owner and Firm agree to mediate claims or disputes arising out of or relating to this Agreement as a condition precedent to litigation. The mediation shall be conducted by an agreed upon mediation service acceptable to the parties. A demand for mediation shall be made within a reasonable time after a claim or dispute arises and the parties agree to participate in mediation in good faith. Mediation fees shall be shared equally. In no event shall any demand for mediation be made after such claim or dispute would be barred by the applicable law.

12. Ownership of Documents

Copies of the final bid documents may be retained by the Owner at the completion of the project for their records in both print and digital PDF versions. All instruments of professional service prepared by the Firm, including, but not limited to, drawings and specifications, are the property of the Firm, and these documents shall not be reused on other projects without Firm's written permission. Any reuse or distribution to third parties without such express written permission or project-specific adaptation by the Firm will be at the Owner's sole risk and without liability to the Firm or its employees, and subcontractors. Owner shall, to the fullest extent permitted by law, defend, indemnify, and hold harmless Owner from and against any and all costs, expenses, fees, losses, claims, demands, liabilities, suits, actions, and damages whatsoever arising out of or resulting from such unauthorized reuse or distribution.

The Firm reserves the right to include representations of the Project in its promotional and professional materials.

13. Governing Law

This Agreement is governed by the laws of the State of Illinois.

14. Entire Agreement and Severability

This Agreement is the entire and integrated agreement between Owner and the Firm and supersedes all prior negotiations, statements or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Firm. In the event that any term or provision of this agreement is found to be void, invalid or unenforceable for any reason, that term or provision shall be deemed to be stricken from this agreement, and the balance of this agreement shall survive and remain enforceable.

15. No Assignment

Neither party can assign this Agreement without the other party's written permission.

16. Expiration of Proposal

If this agreement is not accepted within 120 days, the offer to perform the described services is withdrawn and shall be null and void.

IN WITNESS WHEREOF, the parties hereto have executed this agreement this ____ day of _____, 2018.

Palatine Park District
148 W. Illinois Avenue
Palatine, IL 60067

Upland Design Ltd.
24042 Lockport St., Suite 200
Plainfield, IL 60544

Sign:  _____

Sign:  _____

By: Edmund Traczewski
Supt. of Park

By: Michelle A. Kelly, President
Upland Design Ltd

**ATTACHMENT A
SCOPE OF SERVICES**

PALATINE PARK DISTRICT

2019 Park Improvements

Project Overview: Palatine Park District is considering renovation for two playground sites in 2019. To budget capital dollars for next year, concept planning and cost estimates are required in 2018. Construction documents would then be completed in the fall for the projects and bid out in the winter of 2018-2019 for spring 2019 construction. The sites include Palatine Hills Playground and Lindberg Park Playground.

Project components include improving ADA access to each playground, replacing play equipment, installing all new surfacing as well as drainage. Site furniture will be specified for each site, but the Park District staff will order and install the furniture.

Project Scope

Phase I: Concept Planning and Cost Estimates

July- August, 2018

Base Plan and Survey: The Park District has provided a topographic survey in AutoCAD format for use as a base and the site was measured for accuracy. Additional spot grades will be completed by the Park District and shared with Upland Design.

Site visit: Upland Design staff has visited the sites with the Park District staff. Photos were taken for in office reference.

Play Equipment Design and Review Meeting: Upland Design will work with local Little Tikes equipment representatives to design three options for Palatine Hills. These will be presented to the Park District staff at a meeting. The goal will be to pick one or a combination of plans for each site.

Concept Plan: Upland Design will prepare a concept plan and cost estimate for the new equipment layout for each park. Site elements will include the following improvements:

- Playground equipment layout with safety zones
- Concrete curb adjustments as necessary
- Playground underdrainage design and outlet
- Engineered wood fiber surfacing and rubber mats at swings
- Concrete entry ramps to meet ADA
- Removal of asphalt at playground entry for ADA access
- Lawn establishment at disturbed areas

A cost estimate will be prepared which reflects current public bid pricing. The black and white plans will be to scale with images of proposed furniture.

Review Meeting: The concept plans and cost estimates will be reviewed with Park District staff. Based on the staff input, Upland Design will revise the designs and cost estimates to move into construction documents. A color rendering will be prepared for each site to be used for presentation or on the District website. (1 meeting + revisions)

Public Input: Upland will prepare ideas images for an online public survey of equipment for Palatine Hills. Digital files will be shared and Park District staff will coordinate online survey.

Construction Document Preparation

Upland Design will prepare details, specifications and scaled plans for the park improvements based on the approved plan as one package. Plans will address:

- Existing Conditions and Removals
- Layout and Dimensioning
- Equipment List
- Landscaping and Lawn Restoration
- Grading and Erosion Control
- Construction Details

Technical specifications will be prepared to cover each area of construction and a detailed bid proposal form will be developed. The Park District will prepare and provide the general front end specifications. A review meeting with Palatine Park District staff will take place at 85% document completion. The cost estimate will be updated and reviewed for this meeting.
(1 meeting)

Comments from the review meeting will be incorporated into the documents and the plans, specifications and bid form will be completed for public bidding.

Permits: The Park District will handle permit submittals. Upland Design will reply to any permit comments and update plans as necessary. The Park District has confirmed that the site has no wetlands nor floodplain/floodway which would require State or National permits.

Phase III- Bidding and Bid Assistance

February, 2019

The bid documents will be sent to the District digitally for distribution from your offices. The District will place an ad in the local paper and perform other required procedures for bidding. Our staff will be available throughout the bidding period to answer questions and prepare addenda if required. The Park District staff will host and attend the bid opening, tabulate bids and check references.

Phase IV- Construction Observation

April- June, 2019

Park District staff will be in charge of construction observation and will review construction submittals, pay applications, certified payroll and close-out documents prepared by the Contractor.

Upland Design will make five site visits to the park during construction and at the end of construction to create a punch list. Reports from each visit and the punch list will be distributed to the Park District and Contractor. We will be available by phone to answer questions throughout the construction. (5 site visits per site)

The Firm shall have the authority to act on behalf of the Owner only to the extent provided in this proposal and subsequent agreement. The Firm shall not have control over, charge of, or responsibility for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the construction work, nor shall the Firm be responsible for the Contractor's failure to perform the construction work in accordance with the requirements of the plans and specifications.

End of Attachment A.

Project Location	Community Park	11/22/2019
	by Jim Holder in Member District ADA Project Request	id. 14518161
	ADAProjects@palatineparks.org	

Original submission	11/22/2019
----------------------------	------------

Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Status	Alteration Addition
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress
Benefits of the Project	Allows individuals with mobility issues to access the baseball field shelter and playground from the parking area.
Items that will become ADA Compliant	Access to the shelter and to both baseball fields
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[M12048_a_Community_Park_Palatine_Civil_Eng_Plan_Set.pdf](#)

[IMG_20191120_144734437.jpg](#)

[IMG_20191120_144755287.jpg](#)

[IMG_20191120_144805173.jpg](#)

[IMG_20191120_144838638.jpg](#)

[IMG_20191120_144903465.jpg](#)
[IMG_20191120_144924926.jpg](#)
[IMG_20191120_144935063.jpg](#)
[IMG_20191120_144947489_HDR.jpg](#)
[IMG_20191120_145008960.jpg](#)
[IMG_20191120_145028786_HDR.jpg](#)
[IMG_20191120_145102153.jpg](#)
[IMG_20191120_145119889.jpg](#)
[IMG_20191120_145136217_HDR.jpg](#)
[IMG_20191120_145158448_HDR.jpg](#)
[Community_Park_Bid.pdf](#)

Budget Table for ADA Related Expenses

[ed0d0cb8-19e9-4339-accf-2954ee225696.xlsx](#)

ADA Dollars Requested	93529
-----------------------	--------------

Notes related to requested amount	n/a
-----------------------------------	-----

Celtic Park – Improvements

<u>Pay Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Value</u>
20200100	Earth Excavation	10	CY	50	500
20201200	Removal and Disposal of Unsuitable Material	5	CY	40	200
21101600	Topsoil Furnish and Place, Variable Depth	230	SY	17.46	4000
25000100	Seeding, Class 1	0.05	AC	40000	2000
25000400	Nitrogen Fertilizer Nutrient	5	LBS	3	15
25000600	Potassium Fertilizer Nutrient	5	LBS	3	15
25100127	Mulch, Method 3A	230	SY	5.66	1300
30300001	Aggregate Subgrade Improvement	5	CY	50	250
35101600	Aggregate Base Course, Type B 4"	56	SY	53.58	3000
40600290	Bituminous Material (Tack Coat)	135	LBS	0.37	50
40600627	Leveling Binder, IL-9.5FG, N50	15	TN	240	3600
40603335	Hot-Mix Asphalt Surface Course, Mix 'D', N50	30	TN	263.34	7900
44000100	Pavement Removal	56	SY	26.79	1500
44201670	Class D Patches, Type I, 2 Inch	56	SY	42.86	2400
44300100	Area Reflective Crack Control Treatment	265	SY	15.10	4000
67100100	Mobilization	1	LS	550	550
				SUBTOTAL:	\$ 31280

Community Park Path and Pavilion Pad

<u>Pay Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Value</u>
<u>Mass Grading/Earthwork/Soil/Erosion/Demolition:</u>					
1	Earthwork	1	LS	5600	5600
2	6" Standard Topsoil	300	CY	51.67	15500
3	Inlet Filter	9	EA	55.56	500
4	Tree Protection	9	LF	33.34	300
5	Class 1 IDOT Seed	0.37	AC	37837.84	14000
6	Sawcut & Depress Conc. Back of Curb	9	LF	111.12	1000
7	Sawcut & Remove Conc. Curb & Gutter	8	LF	75	600

Pay Item	Description	Quantity	Unit	Unit Price	Value
----------	-------------	----------	------	------------	-------

8	Demo Asphalt Pavement	1,912	SY	5.81	11100
9	Demo Fence	118	LF	5.51	650
10	Demo Tree	1	EA	1250	1250

Standard Duty Asphalt Pavement:

1	1.5" HMA Surface Course	1839	SY	10.07	18500
2	2.25" HMA Binder Course	1839	SY	13.11	24100
3	8" CA-6 Base Course	1839	SY	17.68	32500
4	MC-30 Prime Coat (0.35 Gal/SY)	1839	SY	0.77	1400
5	MC-Tack Coat @ 0.25 Gal. SY	1839	SY	0.28	500

Concrete Pavement:

1	5" PCC Pavement	290	SY	75.87	22000
2	4" CA-6 Base Course	290	SY	8.63	2500

Concrete Curb:

1	Conc. Barrier Curb (Height Varies)	17	LF	58.83	1000
---	------------------------------------	----	----	-------	------

SUBTOTAL: \$ 153 000

Hummingbird Park – Improvements

Pay Item	Description	Quantity	Unit	Unit Price	Value
20200100	Earth Excavation	10	CY	15	150
20201200	Removal and Disposal of Unsuitable Material	5	CY	40	200
21101600	Topsoil Furnish and Place, Variable Depth	935	SY	14.98	14000
25000110	Seeding, Class 1A	0.20	AC	38000	7600
25000400	Nitrogen Fertilizer Nutrient	20	LBS	2.50	50
25000600	Potassium Fertilizer Nutrient	20	LBS	2.50	50
25100127	Mulch, Method 3A	935	SY	5.57	5200
28000510	Inlet Filters	4	EA	62.50	250
30300001	Aggregate Subgrade Improvement	5	CY	50	250
35101600	Aggregate Base Course, Type B 4"	33	SY	24.25	800
35102200	Aggregate Base Course, Type B 10"	25	SY	38	950
40400001	Fiber-Modified Asphalt Crack Sealing	1,300	FT	1.85	2400





